

| Office Dwg.No. | Arch. Dwg.No. | Name of Building | Title of Drawing | BRANCH | Date | Prepared By |
|----------------|---------------------|--|---------------------------------------|--------|-------|-----------------|
| CPA-726 | E-1 | | Lower Level | | | |
| CPA-727 | E-2 | | Concourse Level | | | |
| CPA-728 | E-3 | | Truss Level-Wiring | | | |
| CPA-729 | E-4 | | Riser Diagram & Details | | | |
| CPA-730 | E-5 | | Schedules & Diagrams | | | |
| CPA-731 | D-1 | ROOF REPLACEMENT ENG.NO.-M-219-35 | CAPITAL PLAZA FRANKFORT, KY. | | 12-91 | ROSS-FELDMAN-AR |
| CRA-732 | D-1 | DEMOL.PLAN & DETAILS | | | | |
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| CPA-734 | A-2 | ROOF PLAN | | | | |
| CPA-735 | A-3 | DETAILS | | | | |
| CPA-736 | | CAPITAL PLAZA ROOF REPLACEMENT PHASE#2 | FRANKFORT, KY. | | 5-92 | ROSS-FELDMAN |
| CPA-737 | D-1 | DEMO. ENG.NO.M-219-35 | | | | |
| Cpa-738 | A-1 | PARTIAL ROOF | | | | |
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| CPA-742 | A-5 | DETAIL:S | | | | |
| CPA-743 | | ROOF REPLACEMENT CAPITAL PLAZA TOWER | FRANKFORT, KY. ENG. FILE NO. M-210-44 | | 2/95 | WILLIAM MARTIN |
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| CPA-753 | | | | | | |

| Office Dwg.No. | Arch. Dwg.No. | Name of Building | Title of Drawing | BRANCH | Date | Prepared By |
|----------------|---------------|--|---|--------|-------------------------------------|--|
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| CPA-759 | | Stair Repair, Capital Plaza, Fountain Place, M-219-48-A Frankfort, Ky | Title Sheet & Index | 3-97 | Haworth-Meyer-Boleyn Engrs. | |
| CPA-760 | A-1 | | Stair Plan - Architectural Details | | | |
| CPA-761 | S-1 | | Stair Plan - Structural Details | | | |
| CPA-762 | | Parking Structure Repairs M-219-48 | Title Sheet & Index Repair Plan | 6-97 | Haworth-Meyer-Boleyn Engrs/Archs | |
| CPA-763 | S-1 | | Repair Details | | | |
| CPA-764 | S-2 | | Repair Details | | | |
| CPA-765 | | Replace Fuel Tanks, Central Utilities Plant & Capitol Plaza, Frankfort, Ky | Title & Index Sheet (Site 1) | 4-99 | Greystone Archs. INC. | |
| CPA-766 | EX-1 | | Existing Site Plan | | Consulting Eng. | Biagi, Chance Cummins, London, Tilzer, & Inc. |
| CPA-767 | SP-1 | FFVR0010 02-39-785-0292 | Site Plan | | | |
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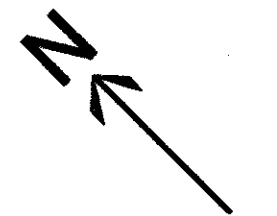
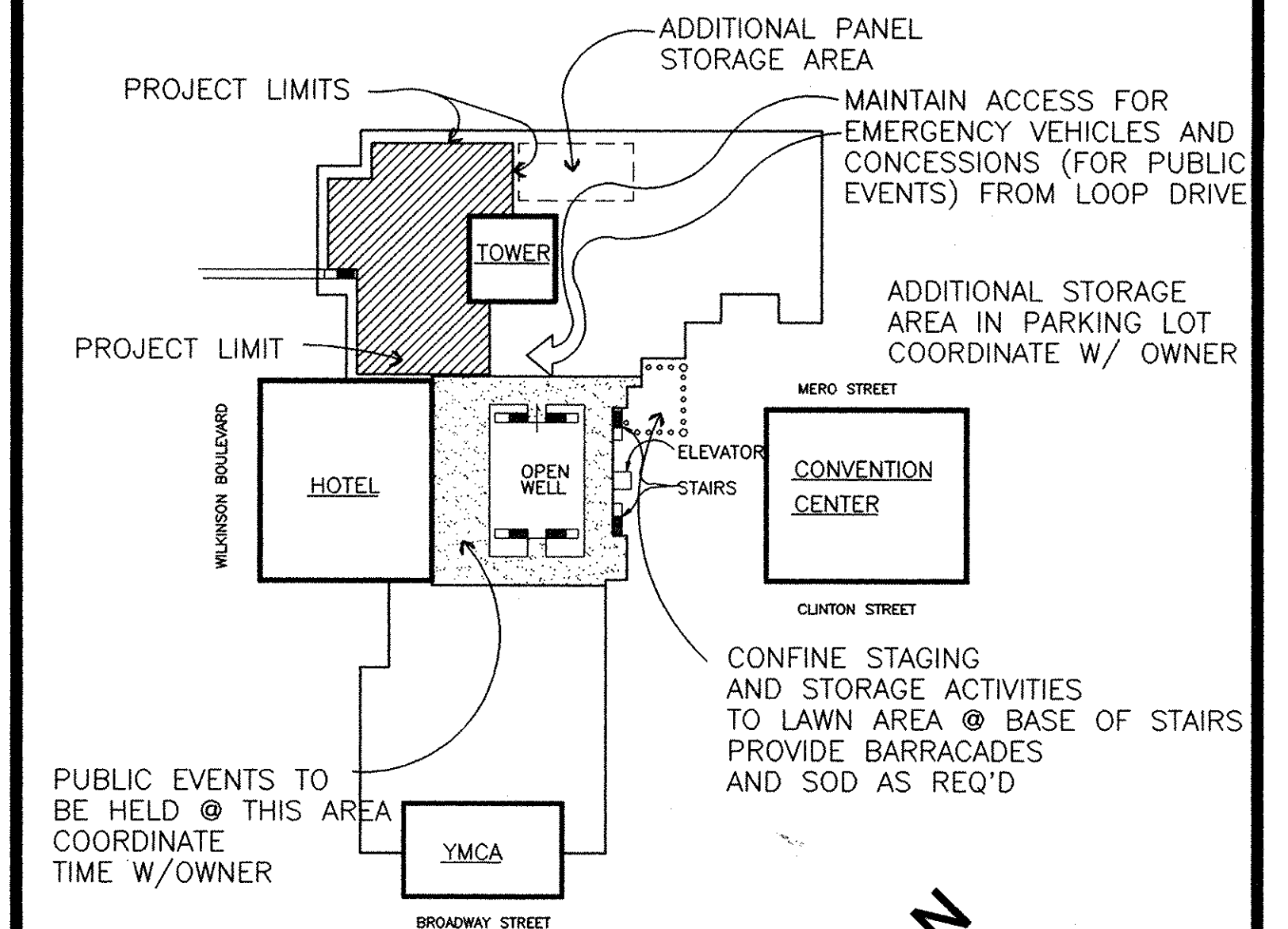
CAPITAL PLAZA ROOF REPLACEMENT PHASE 2 COMMONWEALTH OF KENTUCKY FRANKFORT, KENTUCKY

GOVERNOR PAUL PATTON

FINANCE + ADMINISTRATION CABINET
DEPARTMENT FOR FACILITIES MANAGEMENT
DIVISION OF ENGINEERING
ENGINEERING FILE NO. M- 219-43
ACCOUNT NO. 02-39-785-2002

INDEX OF DRAWINGS

| | |
|------|--|
| AD-1 | COVER SHEET ARCHITECTURAL DEMOLITION PLAN |
| HM-1 | HAZARDOUS MATERIALS ABATEMENT |
| HM-2 | HAZARDOUS MATERIALS ABATEMENT |
| HM-3 | HAZARDOUS MATERIALS ABATEMENT |
| HM-4 | HAZARDOUS MATERIALS ABATEMENT |
| A-1 | PARTIAL ROOF PLAN |
| A-2 | PARTIAL ROOF PLAN |
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| A-4 | DETAILS |
| A-5 | DETAILS |
| A-6 | DETAILS |



KEYPLAN
NOT TO SCALE

MARCH 1996

ROSS ♦ TARRANT ARCHITECTS, INC.

206 West Main Street Lexington, Kentucky 40507
Phone (606)254-4018 Fax (606)231-5046

ANALYTICAL MANAGEMENT, INC. ENVIRONMENTAL ENGINEERS

2285 Executive Drive Lexington, Ky 40505 (606)299-6556

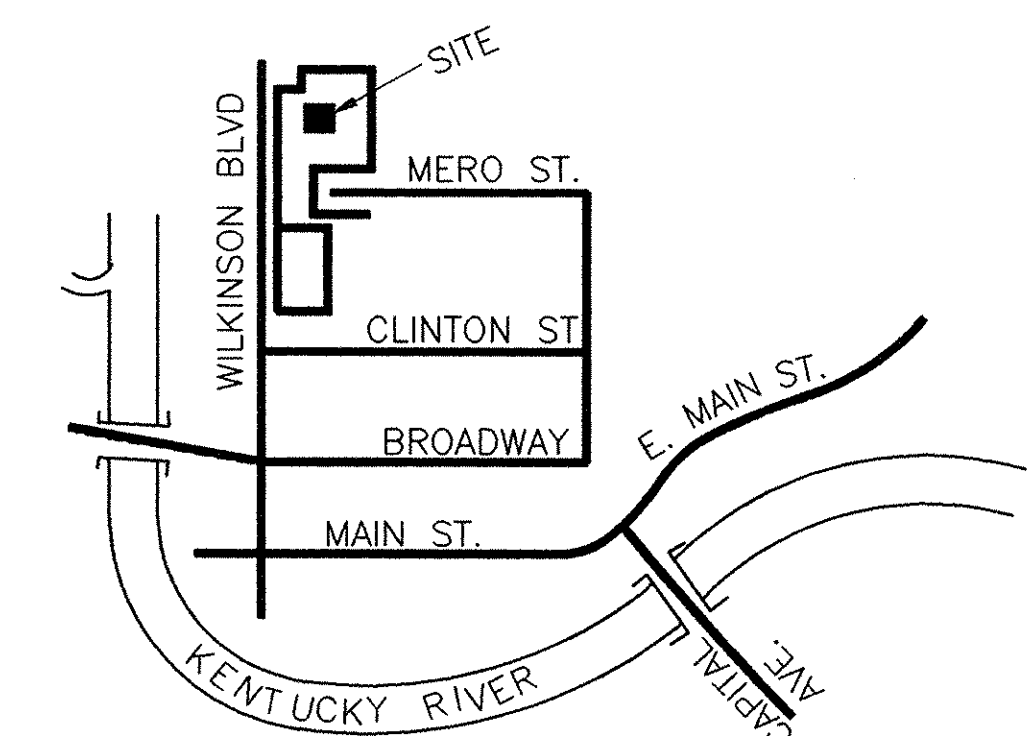
STANLEY D. LINDSEY AND ASSOCIATES, LTD. STRUCTURAL ENGINEERS

11003 Bluegrass Parkway Louisville, Ky 40299 (502)267-0700
2244 Metrocenter Blvd. Suite 208, Nashville, Tn 37228 (615)244-2211

KAISER - TAULBEE ASSOCIATES CONSULTING ENGINEERS
300 West Main Street Louisville, Kentucky 40202 (502)583-1138
190 Jefferson Street Lexington, Kentucky 40585 (606)253-2459

RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date 7-15-97

VICINITY MAP



SET NUMBER

CPA-74

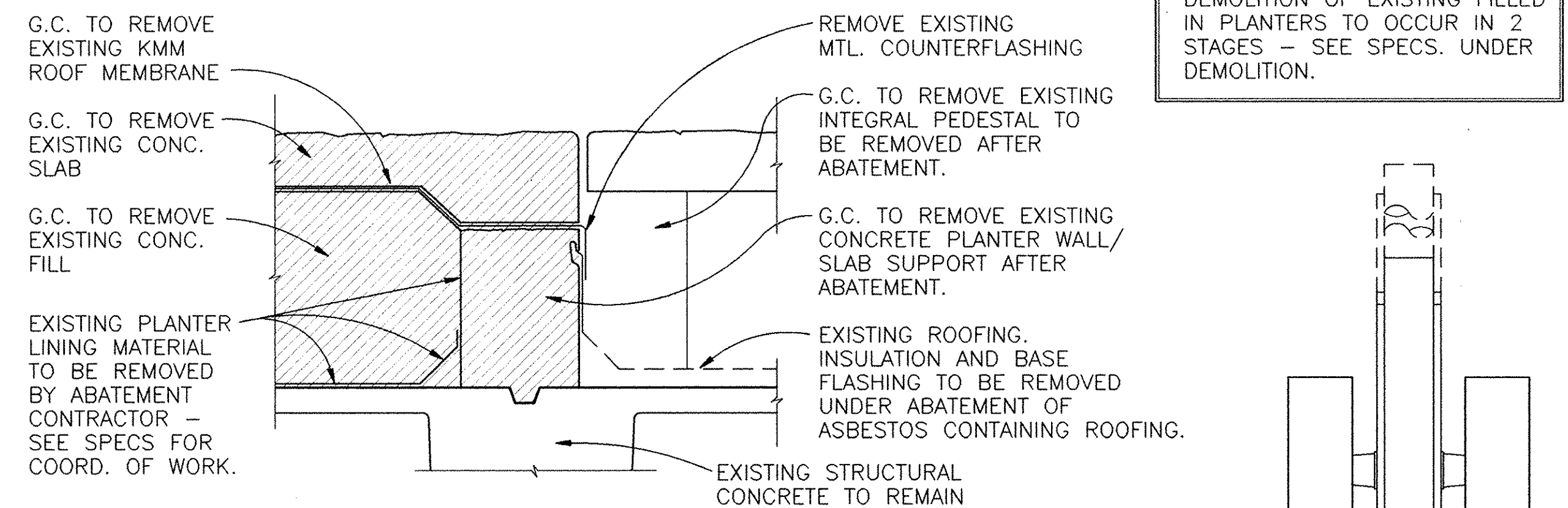
NOTE:
 "IT IS UNDERSTOOD THAT THE EXISTING ROOF CONTAINS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, A SUBSTANCE KNOWN TO PRESENT HEALTH HAZARDS. ROSS-TARRANT HAS RETAINED A QUALIFIED SPECIALIST SUBCONSULTANT, ANALYTICAL MANAGEMENT INC. (A.M.I.), AND HAS INCORPORATED THIS SUBCONSULTANT'S SPECIFICATIONS AND DRAWINGS FOR THE REMOVAL OF ASBESTOS. ROSS-TARRANT SHALL NOT BE RESPONSIBLE IN ANY WAY FOR SAFETY PRECAUTIONS, INCLUDING MEASURES FOR THE PROTECTION OF THE CONTRACTOR OR ANY SUBCONTRACTOR, NOR FOR THE PROTECTION OF THE PUBLIC. SUCH RESPONSIBILITY FOR SAFETY PRECAUTIONS IS AND SHALL REMAIN THAT OF THE CONTRACTOR."

ARCHITECTURAL DEMOLITION NOTES:

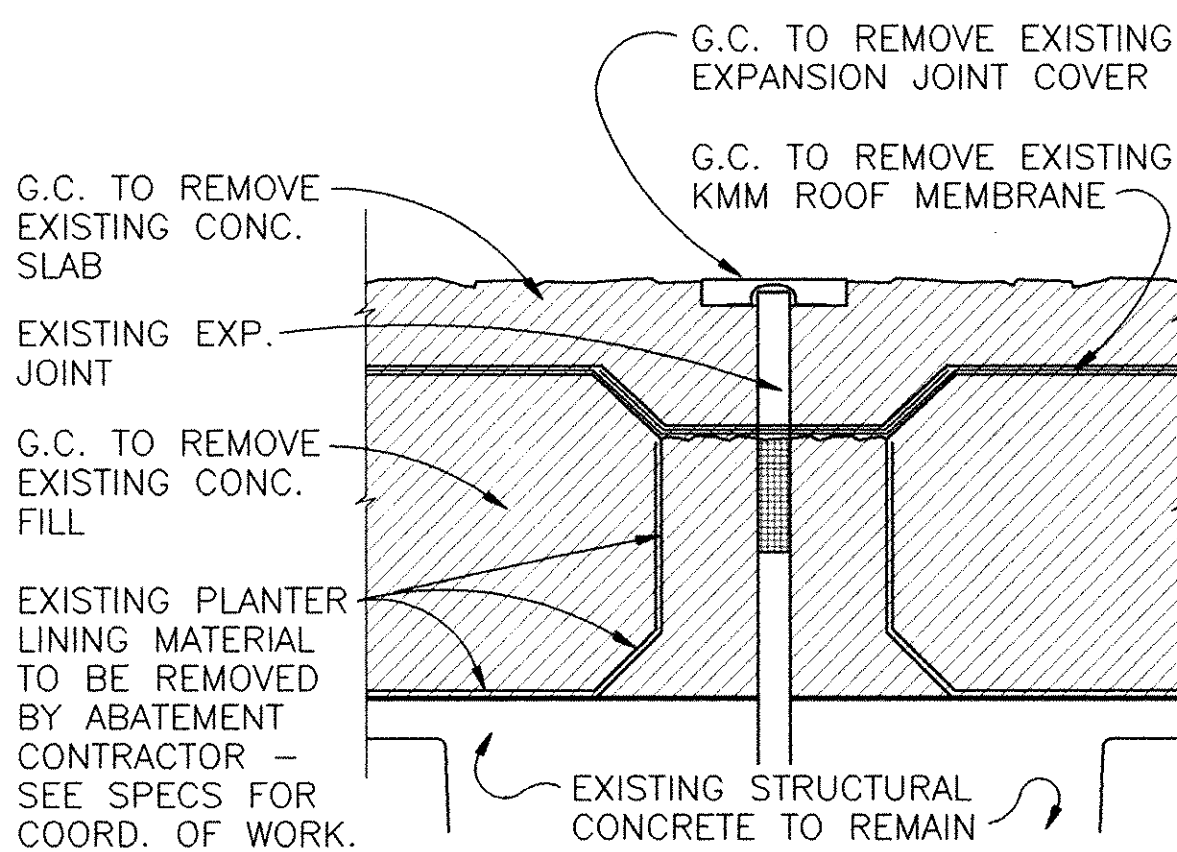
- EXISTING 10'x10' (TYP.) PRECAST CONCRETE PANELS TO BE REMOVED AND STORED FOR REINSTALLATION. SEE DETAILED DIRECTIONS FOR REMOVAL AND STORAGE THIS SHEET.
- EXISTING POURED IN PLACE CONCRETE SLAB, "KMM" ROOFING AND LIGHT WEIGHT CONCRETE FILL TO BE REMOVED AND DISCARDED. SEE DETAILS B, C, & D THIS SHEET.
- EXISTING LOOSE GRAVEL 6" TO 8" IN DEPTH TO BE REMOVED FROM THE SURFACE OF THE BUILT-UP ROOFING AND DISCARDED BY GENERAL CONTRACTOR. GRAVEL WHICH IS ADHERED TO THE SURFACE OF THE BUILT-UP ROOFING IS TO REMAIN, AND BE REMOVED AS A PART OF THE ASBESTOS ABATEMENT OF THE ROOFING MATERIALS. (VACUUM REMOVAL IS STRONGLY RECOMMENDED)
 NOTE: GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY MATERIAL CONTAMINATED THROUGH THE PROCESS OF GRAVEL REMOVAL.
- EXISTING STONE CAP OF PLANTER WALL TO BE REMOVED AND STORED FOR REINSTALLATION. SEE DETAIL B/A-6.
- REMOVE EXISTING TREES AND SHRUBS FROM PLANTER, INCLUDING ALL ROOTS, AND DISCARD. NOTE TYPE OF EXISTING PLANTS, TO BE ABLE TO REPLACE W/ MATCHING PLANTS.
- REMOVE EXISTING SOIL FROM PLANTER AND STOCKPILE FOR REPLACEMENT AFTER NEW ROOFING AND DRAINAGE SYSTEM INSTALLED. SEE DETAIL A/A-6.
- ASBESTOS CONTAINING ROOFING MATERIALS TO BE REMOVED PER SHEETS HM-1, HM-2, HM-3, HM-4, AND SPECIFICATION SECTION 02081 PREPARED BY ANALYTICAL MANAGEMENT, INC.
- EXISTING COMBINATION LIGHT FIXTURE/VENT STACK TO BE REMOVED AND REINSTALLED PER DETAILS D/AD-1 AND D/A-5.
- EXISTING PRECAST CONCRETE BENCHES TO BE REMOVED AND REINSTALLED AS REQUIRED TO PERFORM WORK NEEDED.
- EXISTING FLAG POLES AND LIGHTS TO REMAIN.
- EXISTING LIGHT FIXTURE TO BE REMOVED AND REFURBISHED OR REPLACED WITH A NEW FIXTURE AND INSTALLED.
- REMOVE AND DISCARD EXISTING ALUMINUM GUARDRAIL TO ALLOW FOR INSTALLATION OF NEW GUARDRAIL. PATCH BOLT HOLES IN WALL AS REQ'D. SEE DETAIL J/A-6.
- REMOVE AND DISCARD EXISTING PAINTED STEEL GUARDRAIL & PLYWD PANEL, TO ALLOW FOR INSTALLATION OF NEW GUARDRAIL. PATCH BOLT HOLES IN WALL AS REQUIRED SEE DETAIL J/A-6 SIM.
- REMOVE PIPING AND CONDUIT PITCH POCKETS DURING ABATEMENT OF ROOFING MATERIAL. PROVIDE TEMPORARY FLASHING AS PART OF TEMPORARY ROOFING.

GENERAL NOTES

- G.C. SHALL PROVIDE ENCLOSURE FENCE/BARRICADE @ PROJECT LIMITS FOR SAFETY AND SECURITY AS REQ'D. THRU END OF CONSTRUCTION. ASBESTOS ABATEMENT CONTRACTOR SHALL PROVIDE ADDITIONAL ENCLOSURES, FENCING AND SIGNAGE AS REQ'D. FOR PUBLIC SAFETY UNDER THAT SCOPE OF WORK.
- FIELD VERIFY ALL DIMENSIONS.
- G.C. TO COORDINATE DEMOLITION WITH SHEETS HM-1, HM-2, HM-3, HM-4 AND SPECIFICATIONS SECTION 02081 PREPARED BY ANALYTICAL MANAGEMENT, INC.
- G.C. TO MAINTAIN PEDESTRIAN ACCESS TO PEDESTRIAN BRIDGE AND STAIRWAY THROUGH-OUT CONSTRUCTION, EXCEPT FOR LIMITED PERIODS DURING THE ROOF REPAIRS IMMEDIATELY ADJACENT TO THOSE AREAS. G.C. TO PROVIDE APPROPRIATE SIGNAGE ON FAR SIDE OF PEDESTRIAN BRIDGE AND BASE OF STAIRS.
- G.C. IS RESPONSIBLE TO COORDINATE ALL DEMOLITION WITH INSTALLATION OF TEMPORARY ROOFING TO KEEP ROOF DECK WEATHER TIGHT. SPECIAL PRECAUTIONS TO BE TAKEN OVER INTERIOR SPACE BELOW DECK.

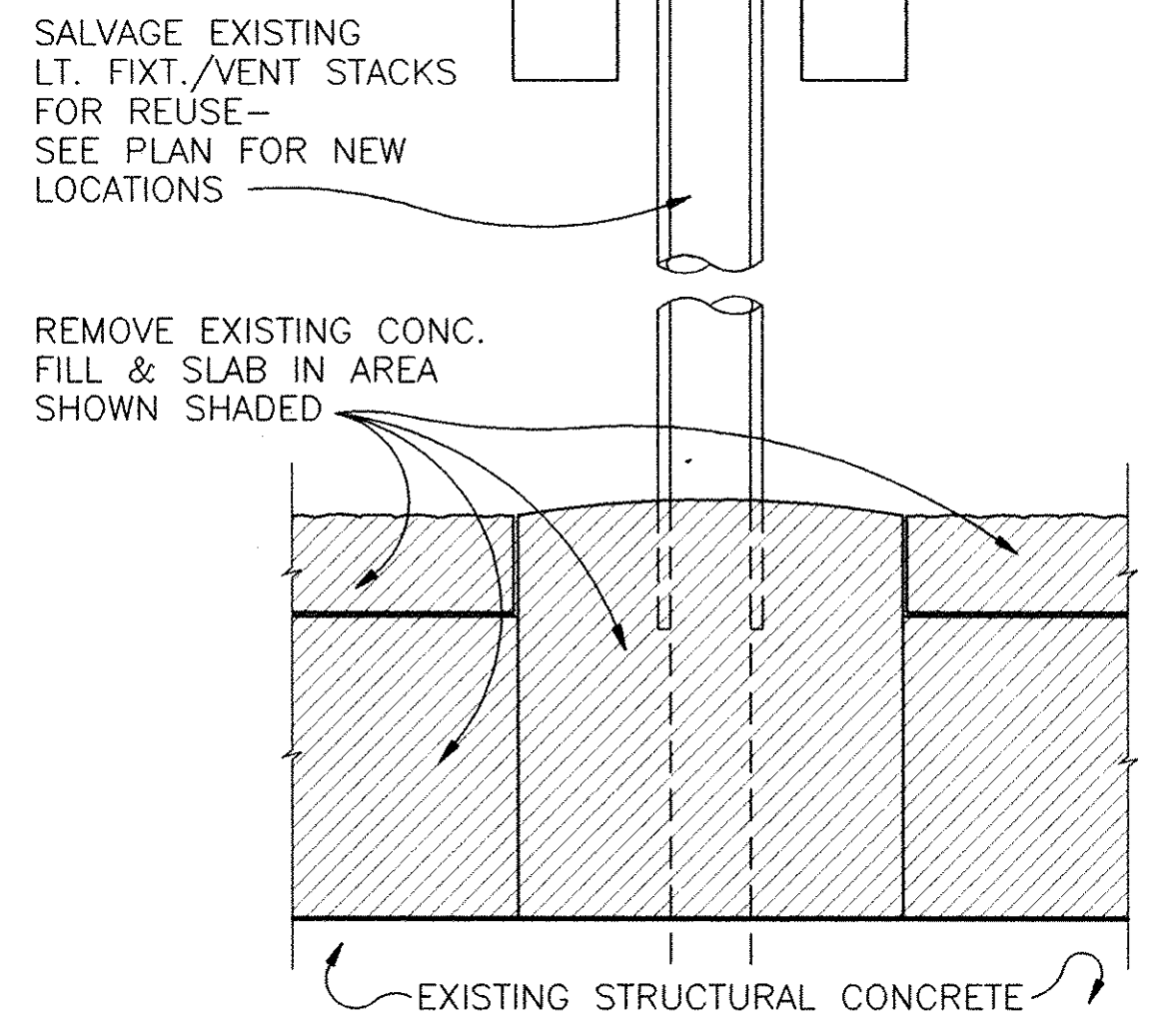


PLANTER PERIMETER WALL
 SCALE: 1 1/2" = 1'-0"



PLANTER EXPANSION JOINT
 SCALE: 1 1/2" = 1'-0"

NOTE:
 DEMOLITION OF EXISTING FILLED IN PLANTERS TO OCCUR IN 2 STAGES - SEE SPECS. UNDER DEMOLITION.



LIGHT/VENT STACK DETAIL
 SCALE: 1 1/2" = 1'-0"

PRECAST CONCRETE PLAZA PANELS REMOVAL AND STORAGE

PRECAST CONCRETE PANELS MAY ONLY BE REMOVED BY USING LIFTING INSERTS. USE EXISTING INSERTS IN THE PANELS OR FOR PANELS WITHOUT INSERTS. CONTRACTOR TO INSTALL STAINLESS STEEL INSERTS WITH STAINLESS STEEL CAPS PER DETAIL F/A-4 AND SPECS.

RIGGING TO HANDLE PANELS FOR LIFTING, MAY BE BORROWED FROM PHYSICAL PLANT DIVISION BY CONTRACTOR, BUT RIGGING MUST BE AVAILABLE TO PHYSICAL PLANT PERSONNEL THROUGHOUT PROJECT.

PRECAST CONCRETE PANELS MAY BE TEMPORARILY STACKED ON THE EXISTING PLAZA LEVEL IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:

- PANELS MAY BE STACKED ANYWHERE ON THE FRAMED PLAZA LEVEL, EXCEPT:
 - PANELS MAY NOT BE STACKED ON THE SPANS OVER THE PUBLIC ROADS,
 - PANELS MAY NOT BE STACKED WITHIN 10 FT. OF THE PLANTER AREAS, AND,
 - PANELS MAY NOT BE STACKED ON THE PORTIONS OF THE PLAZA SLABS WHICH WERE PREVIOUSLY PLANTERS.
- PANELS MAY BE STACKED TO A HEIGHT OF ONLY TWO (2) PANELS ABOVE PLAZA LEVEL.
- STACKED PANELS MUST BE SUPPORTED WITHIN 1'-6" OF THEIR CORNERS.
- STACKED PANELS MUST BE ALIGNED WITH THE SUPPORTING PANELS.
- THE MAXIMUM ALLOWABLE WHEEL LOAD FOR ANY PARTICULAR TYPE OR MODEL OF CONSTRUCTION EQUIPMENT SHOULD NOT EXCEED 9,000 LBS.
- THE MAXIMUM ALLOWABLE LOAD PER PANEL IS 20,000 POUNDS.

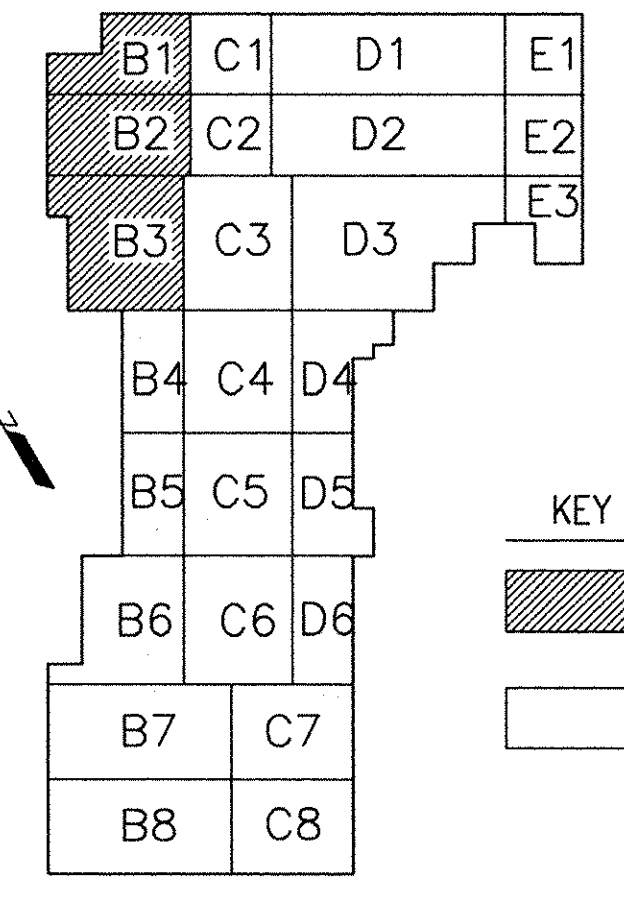
PRIOR TO CONSTRUCTION, IT IS RECOMMENDED THAT THE CONTRACTOR SUBMIT THE FOLLOWING FOR REVIEW:

- THE PLANNED CONSTRUCTION SEQUENCE.
- THE LOCATION OF ANY AREAS OF THE PLAZA LEVEL TO BE USED FOR TEMPORARY ON-SITE STACKING OF THE CONCRETE PANELS.
- THE WHEEL LOADS AND SPACING FOR ALL CONSTRUCTION EQUIPMENT TO BE USED ON THE PLAZA LEVEL.

IT IS POSSIBLE THAT DURING CONSTRUCTION SOME DETERIORATED CONCRETE ELEMENTS WILL BE DISCOVERED. THEREFORE, IT IS RECOMMENDED THAT CRACKS, SPALLED AREAS, ETC., BE INSPECTED BY THE ARCHITECT TO DETERMINE IF ANY REPAIR IS REQUIRED.

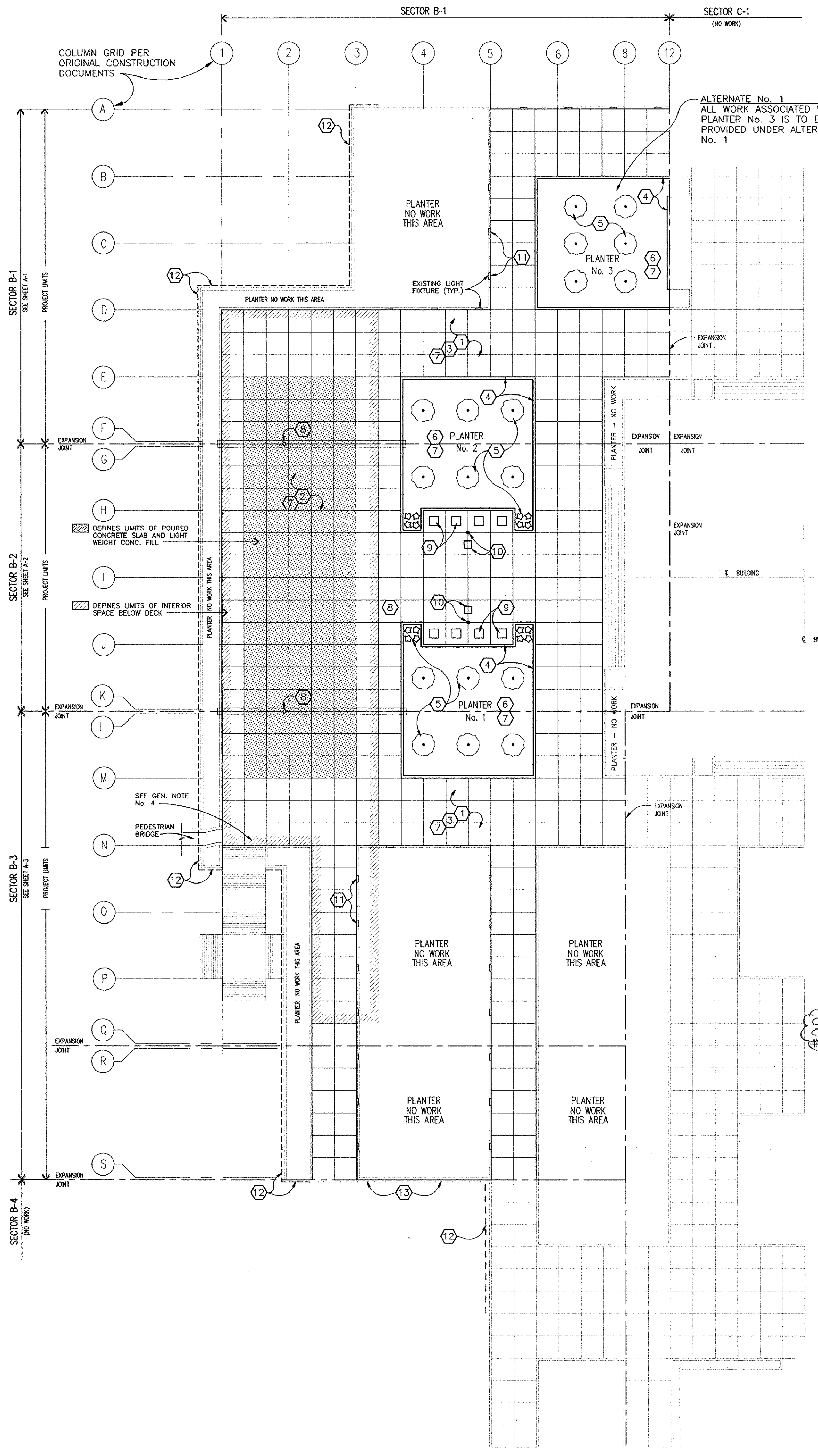
RECORD DRAWINGS

These record drawings reflect approved changes made during construction. Date 1-15-97.

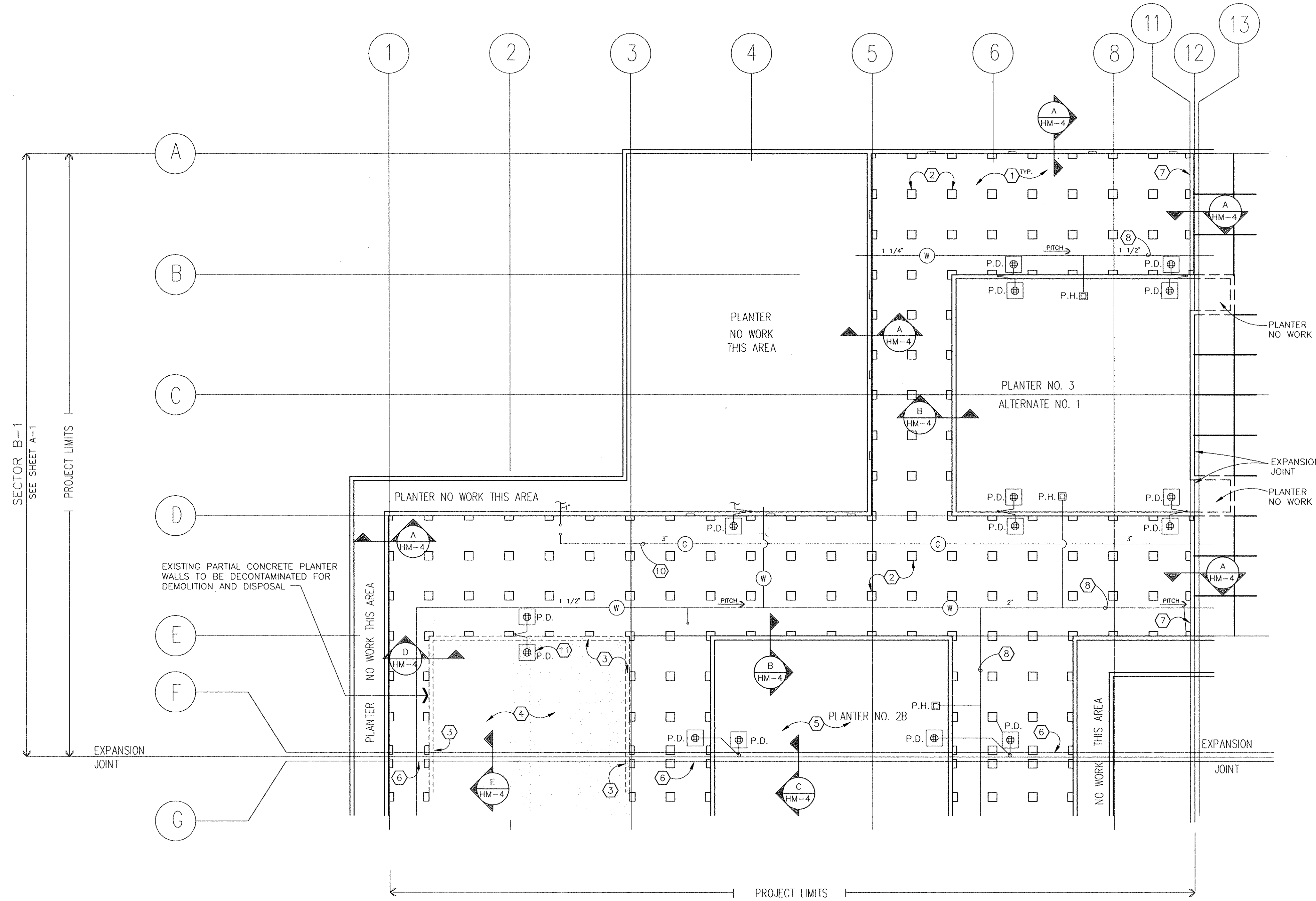


KEY PLAN LEGEND
 [Shaded Box] AREA SHOWN ON THIS SHEET
 [Unshaded Box] NO WORK IN THIS AREA

| REVISIONS | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | |
|-----------|------|--|--|
| 1 | | AS BUILT DATE | DRAWING NO. |
| 2 | | ARCH. DEMOLITION PLAN | |
| 3 | | DRAWN BY | COMMONWEALTH OF KENTUCKY |
| 4 | | FJK, RMD | FINANCE AND ADMINISTRATION CABINET |
| 5 | | CHECKED BY | DEPARTMENT FOR FACILITIES MANAGEMENT |
| 6 | | REM, JAR | DIVISION OF ENGINEERING |
| 7 | | A & E FILE NO. | FRANKFORT, KENTUCKY |
| 8 | | 9514 | ROSS • TARRANT |
| 9 | | DATE | ARCHITECTS, INC. |
| | | MARCH 1996 | 208 West Main Street, Lexington, Kentucky 40507 Phone (606)254-4018 Fax (606)251-5246 |
| | | AGENCY AUTHORIZED AGENT | REVIEWED DIV. OF ENGR. |
| | | APPROVED FOR PROGRAM CONCEPT ONLY | ENGR. FILE NO. M-219-43 |
| | | DIVISION OF ENGINEERING | DATE 4/9/96 |
| | | APPROVED FOR PROGRAM CONCEPT ONLY | |

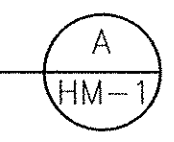


DEMOLITION PLAN
 SCALE: 1" = 30'-0"



PARTIAL ROOF PLAN (SECTOR B-1)

SCALE: 1/16" = 1'-0"



SYMBOLS KEY

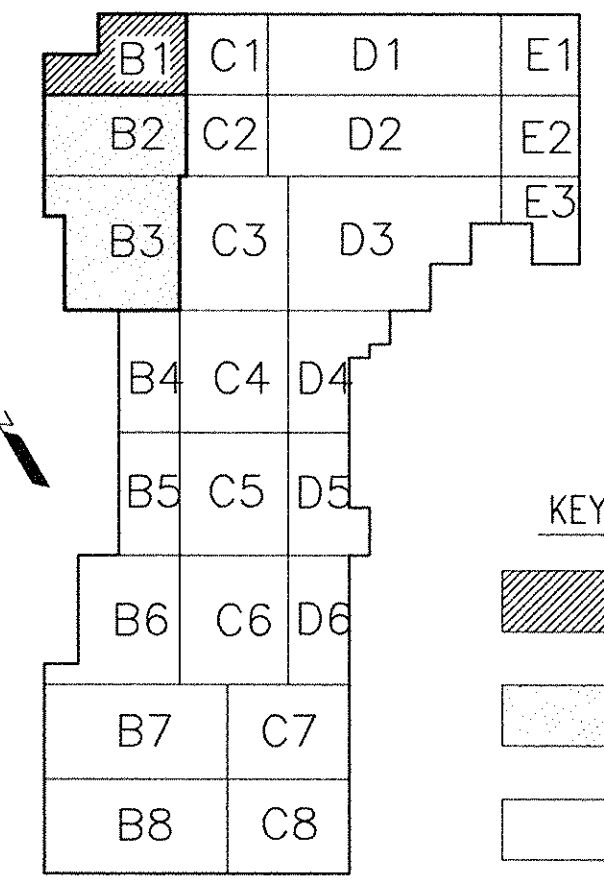
- EXISTING CONCRETE PEDESTAL
- (W)— EXISTING WATER LINE
- (G)— EXISTING GAS LINE
- (E)— EXISTING ELECTRIC LINE
- ===== EXISTING PARTIAL CONCRETE PLANTER WALL
- P.D. ⊕ EXISTING PLAZA DRAIN TO REMAIN REMOVE DOME AND SEAL DRAIN PRIOR TO COMMENCING REMOVAL ACTIVITIES
- P.H. ⊕ EXISTING PLANTER HYDRANT TO REMAIN SEE NOTE 17/A-1

GENERAL NOTES

1. GENERAL CONTRACTOR WILL REMOVE EXISTING PRECAST CONCRETE PANELS FOR ASBESTOS ABATEMENT (EXISTING ROOFING MATERIALS) AND RE-ROOFING. STORE PANELS FOR REINSTALLATION AS INDICATED. COORDINATE THE WORK TO INSURE PROPER EXECUTION OF THE WORK OF BOTH CONTRACTORS.
2. FIELD VERIFY ALL DIMENSIONS.
3. AFTER CLEANING, PEDESTALS TO BE REUSED SHALL BE STOCKPILED FOR STORAGE BY THE GENERAL CONTRACTOR.
4. REMOVE DOMES FROM THE PLAZA DRAINS, SEAL DRAINS PRIOR TO BEGINNING OF ROOF REMOVAL.
5. REFER TO SHEET A-1 FOR ELECTRICAL SERVICE TO REMAIN. COORDINATE WITH OTHER TRADES.

NOTES

1. TYPICAL ROOF CONSTRUCTION. SEE DETAIL A/A-4. LOOSE GRAVEL TO BE REMOVED AS UNCONTAMINATED. BUILT UP ROOF AND FLASHINGS TO BE REMOVED.
2. EXISTING PRECAST CONCRETE PEDESTALS. (TYP.) PEDESTALS ARE TO BE CLEANED FOR REUSE, EXCEPT AS NOTED AT PERIMETER OF EXISTING PARTIAL PLANTER WALL. PEDESTAL BASES SHALL BE SUITABLE FOR REUSE.
3. EXISTING PRECAST CONCRETE PEDESTALS AT PLANTER WALL TO BE DECONTAMINATED AND DISPOSED OF OR DISPOSED OF AS CONTAMINATED WASTE.
4. REMOVE ROOFING AND FLASHING MATERIAL IN PLANTER AREA NOTED BY SHADED AREA. REMOVAL OF CONCRETE SLAB, LIGHT WEIGHT CONCRETE FILL AND KMM ROOFING AS NON-ASBESTOS MATERIAL IS NOTED ON SHEETS A-1, A-2, A-3. DECONTAMINATE PARTIAL CONCRETE PLANTER WALL FOR DEMOLITION AND DISPOSAL. SEE DETAIL D/HM-4.
5. REMOVE ROOFING AND FLASHING MATERIAL IN PLANTER AREA. SEE DETAIL B/HM-4.
6. ROOF EXPANSION JOINT.
7. ROOF EXPANSION JOINT AT BOUNDARY OF WORK.
8. EXISTING WATER PIPING BETWEEN PLAZA ROOF AND DECK.
9. EXISTING ELECTRICAL CONDUIT BETWEEN PLAZA ROOF AND DECK TO REMAIN.
10. EXISTING GAS LINE BETWEEN PLAZA ROOF AND DECK. COORDINATE SHUT-OFF WITH STATE WHEN WORKING IN THIS AREA.
11. ORIGINAL PLAZA DRAIN LOCATION UNDER FILLED PLANTER.
12. EXISTING LIGHTS AND FLAGPOLES TO REMAIN.

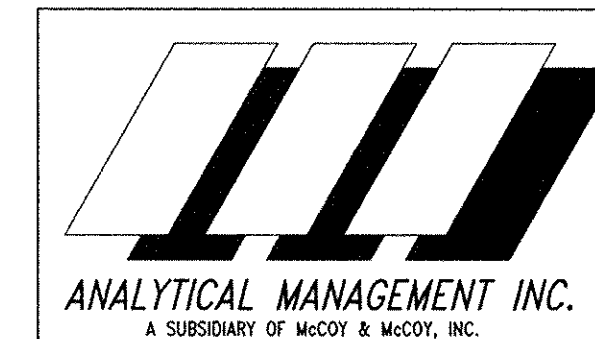


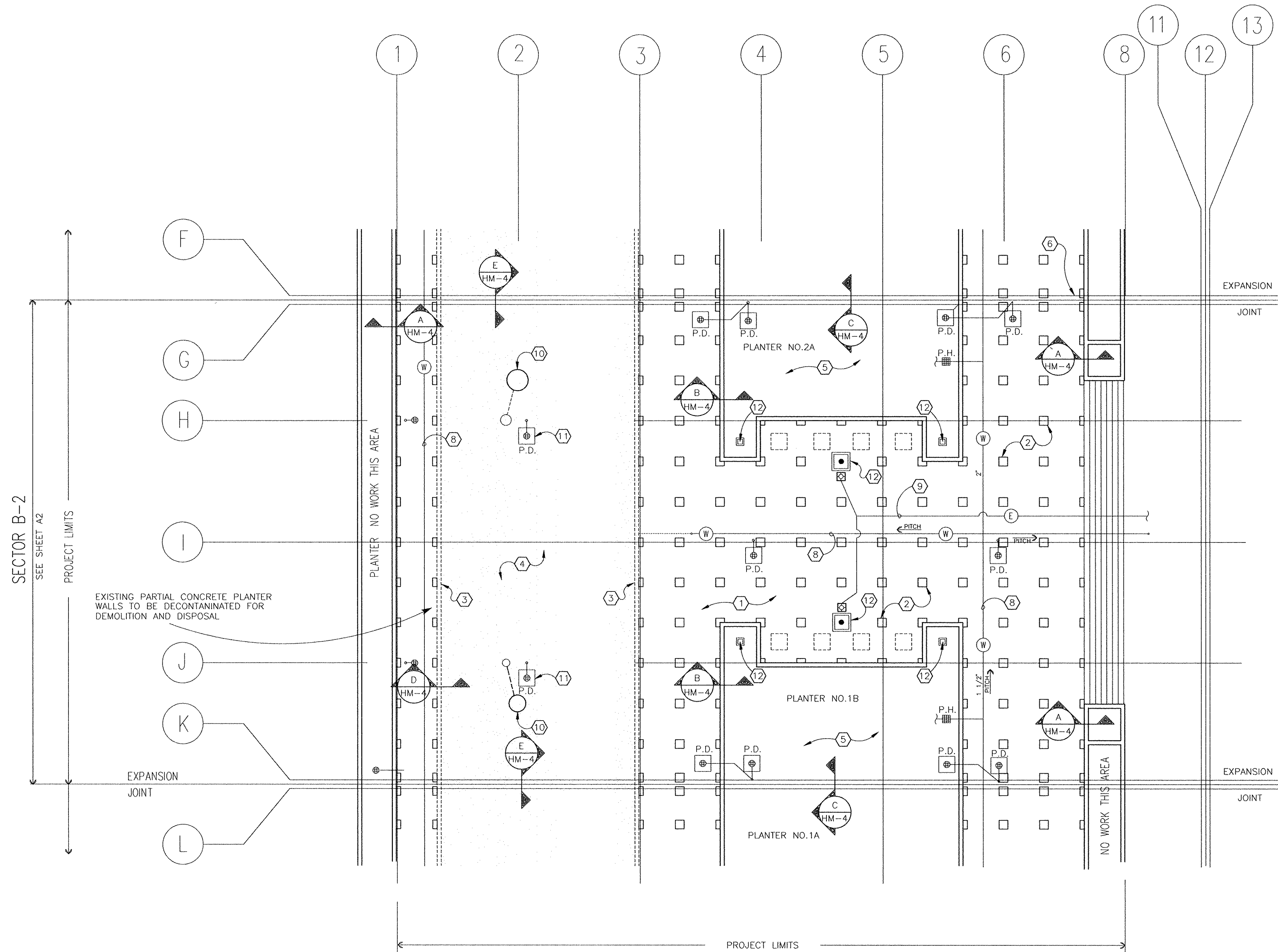
KEY PLAN LEGEND

- AREA SHOWN ON THIS SHEET
- AREA SHOWN ON OTHER SHEETS
- NO WORK IN THIS AREA

RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date

| REVISIONS | | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | |
|-----------|-----|------|--|--------------------------------------|
| 1 | CJN | 3/96 | AS BUILT DATE | HAZARDOUS MATERIALS ABATEMENT |
| 2 | | | DRAWN BY | COMMONWEALTH OF KENTUCKY |
| 3 | | | CHECKED BY | FINANCE AND ADMINISTRATION CABINET |
| 4 | | | JH1 | DEPARTMENT FOR FACILITIES MANAGEMENT |
| 5 | | | A & E FILE NO. | DIVISION OF ENGINEERING |
| 6 | | | 9514 | FRANKFORT, KENTUCKY |
| 7 | | | DATE | ROSS-TARRANT ARCHITECTS, INC. |
| 8 | | | MARCH 1996 | |
| 9 | | | AGENCY AUTHORIZED AGENT | APPROVED FOR PROGRAM CONCEPT ONLY |
| | | | DIVISION OF ENGINEERING | APPROVED FOR PROGRAM CONCEPT ONLY |





PARTIAL ROOF PLAN (SECTOR B-2)

SCALE: 1/16" = 1'-0"

A
HM-2

SYMBOLS KEY

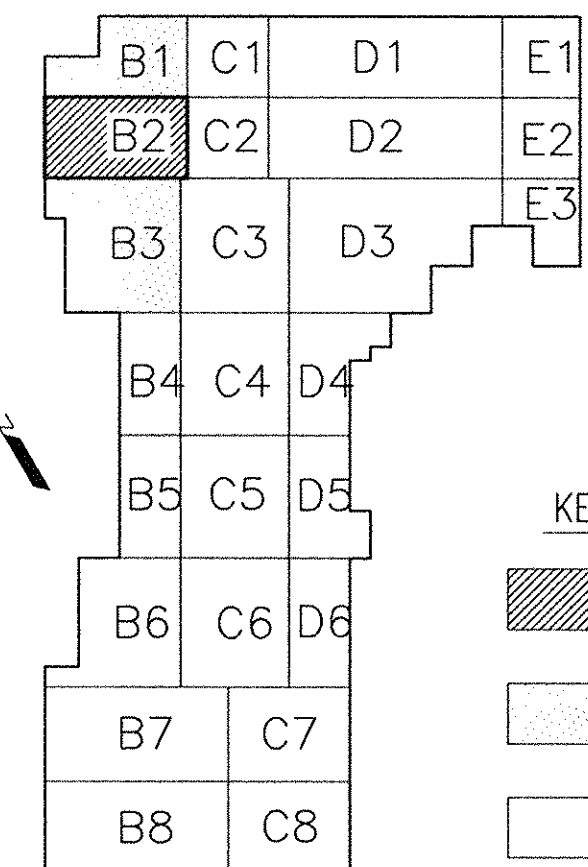
- EXISTING CONCRETE PEDESTAL
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- P.D. ⊕ EXISTING PLAZA DRAIN TO REMAIN REMOVE DOME AND SEAL DRAIN PRIOR TO COMMENCING REMOVAL ACTIVITIES
- P.H. ⊕ EXISTING PLANTER HYDRANT TO REMAIN SEE NOTE 21/A-2

GENERAL NOTES

1. GENERAL CONTRACTOR WILL REMOVE EXISTING PRECAST CONCRETE PANELS FOR ASBESTOS ABATEMENT (EXISTING ROOFING MATERIALS) AND RE-ROOFING. COORDINATE THE WORK TO INSURE PROPER EXECUTION OF THE WORK OF BOTH CONTRACTORS.
2. FIELD VERIFY ALL DIMENSIONS.
3. AFTER CLEANING, PEDESTALS TO BE REUSED SHALL BE STOCKPILED FOR STORAGE BY THE GENERAL CONTRACTOR.
4. REMOVE DOMES FROM THE PLAZA DRAINS, SEAL DRAINS PRIOR TO BEGINNING OF ROOF REMOVAL.
5. REFER TO SHEET A-2 FOR ELECTRICAL SERVICE TO REMAIN. COORDINATE WITH OTHER TRADES.

NOTES

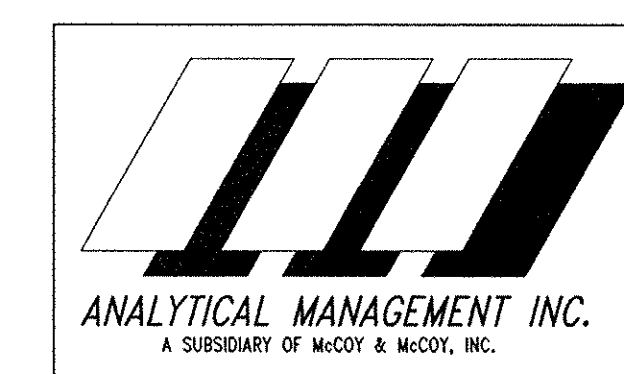
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- ② EXISTING PRECAST CONCRETE PEDESTALS. (TYP.) PEDESTALS ARE TO BE CLEANED FOR REUSE, EXCEPT AS NOTED AT PERIMETER OF EXISTING PARTIAL PLANTER WALL. PEDESTAL BASES SHALL BE SUITABLE FOR REUSE.
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- ④ REMOVE ROOFING AND FLASHING MATERIAL IN PLANTER AREA NOTED BY SHADED AREA. REMOVAL OF CONCRETE SLAB, LIGHT WEIGHT CONCRETE FILL AND KMM ROOFING AS NON-ASBESTOS MATERIAL IS NOTED ON SHEETS A-1, A-2, A-3. DECONTAMINATE PARTIAL CONCRETE PLANTER WALL FOR DEMOLITION AND DISPOSAL. SEE DETAIL D/HM-4.
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- ⑪ ORIGINAL PLAZA DRAIN LOCATION UNDER FILLED PLANTER.
- ⑫ EXISTING LIGHTS AND FLAGPOLES TO REMAIN.

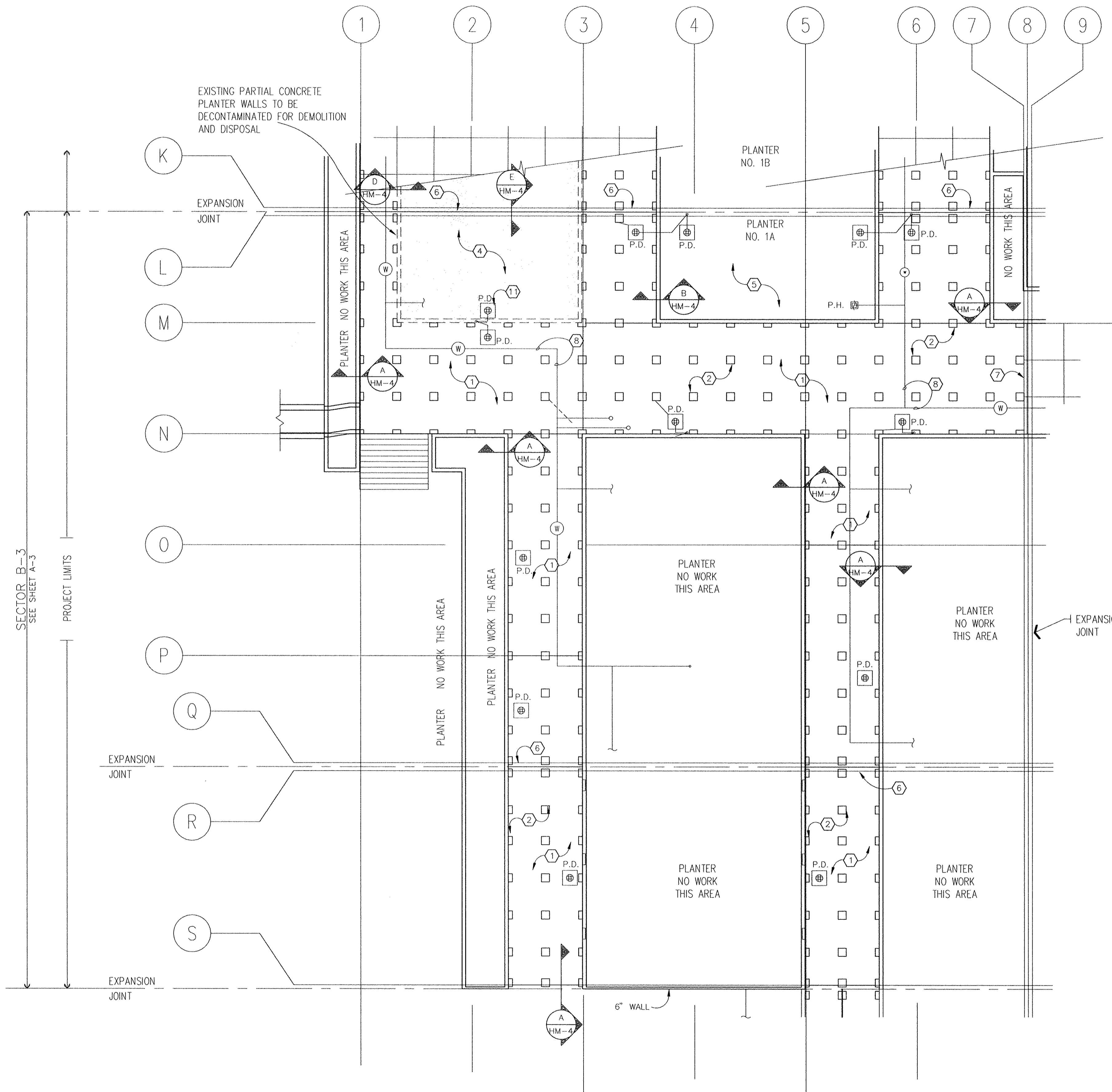


RECORD DRAWINGS

These record drawings reflect approved changes made during construction. Date

| REVISIONS | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | |
|-------------------------|------|---|---------------------------|
| 1 | CJN | 3/96 | |
| 2 | | | |
| 3 | | | |
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| 8 | | | |
| 9 | | | |
| AS BUILT DATE | | HAZARDOUS MATERIAL ABATEMENT | DRAWING NO. |
| DRAWN BY | | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET | HM-2 |
| CHECKED BY | | DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY | REVIEWED DIV. OF ENGR. |
| A & E FILE NO. | | ROSS • TARRANT ARCHITECTS, INC. | ENGR. FILE NO. |
| DATE | | 206 West Main Street Lexington, Kentucky 40507 Phone (606)254-4018 Fax (606)231-5046 | M-219-43 |
| AGENCY AUTHORIZED AGENT | | APPROVED FOR PROGRAM CONCEPT ONLY | DATE |
| DIVISION OF ENGINEERING | | <i>Robert W. Schaefer</i> | DATE 4/9/96 |



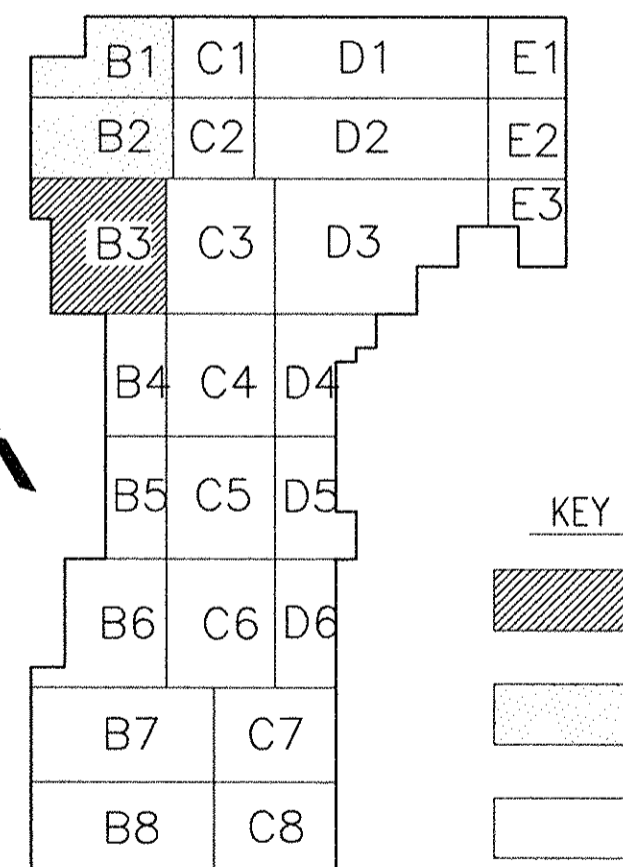


NOTES

- ① TYPICAL ROOF CONSTRUCTION. SEE DETAIL A/A-4. LOOSE GRAVEL TO BE REMOVED AS UNCONTAMINATED. BUILT UP ROOF AND FLASHINGS TO BE REMOVED.
- ② EXISTING PRECAST CONCRETE PEDESTALS. (TYP.) PEDESTALS ARE TO BE CLEANED FOR REUSE, EXCEPT AS NOTED AT PERIMETER OF EXISTING PARTIAL PLANTER WALL. PEDESTAL BASES SHALL BE SUITABLE FOR REUSE.
- ③ EXISTING PRECAST CONCRETE PEDESTALS AT PLANTER WALL TO BE DECONTAMINATED AND DISPOSED OF OR DISPOSED OF AS CONTAMINATED WASTE.
- ④ REMOVE ROOFING AND FLASHING MATERIAL IN PLANTER AREA NOTED BY SHADED AREA. REMOVAL OF CONCRETE SLAB, LIGHT WEIGHT CONCRETE FILL AND KMM ROOFING AS NON-ASBESTOS MATERIAL IS NOTED ON SHEETS A-1, A-2, A-3. DECONTAMINATE PARTIAL CONCRETE PLANTER WALL FOR DEMOLITION AND DISPOSAL. SEE DETAIL D/HM-4.
- ⑤ REMOVE ROOFING AND FLASHING MATERIAL IN PLANTER AREA. SEE DETAIL B/HM-4.
- ⑥ ROOF EXPANSION JOINT.
- ⑦ ROOF EXPANSION JOINT AT BOUNDARY OF WORK.
- ⑧ EXISTING WATER PIPING BETWEEN PLAZA ROOF AND DECK.
- ⑨ EXISTING ELECTRICAL CONDUIT BETWEEN PLAZA ROOF AND DECK TO REMAIN.
- ⑩ EXISTING GAS LINE BETWEEN PLAZA ROOF AND DECK. COORDINATE SHUT-OFF WITH STATE WHEN WORKING IN THIS AREA.
- ⑪ ORIGINAL PLAZA DRAIN LOCATION UNDER FILLED PLANTER.
- ⑫ EXISTING LIGHTS AND FLAGPOLES TO REMAIN.

SYMBOLS KEY

- EXISTING CONCRETE PEDESTAL
- (W)— EXISTING WATER LINE
- (G)— EXISTING GAS LINE
- (E)— EXISTING ELECTRIC LINE
- EXISTING PARTIAL CONCRETE PLANTER WALL
- P.D. ⊕ EXISTING PLAZA DRAIN TO REMAIN REMOVE DOME AND SEAL DRAIN PRIOR TO COMMENCING REMOVAL ACTIVITIES
- P.H. ⊕ EXISTING PLANTER HYDRANT TO REMAIN SEE NOTE 17/A-3



KEY PLAN LEGEND

- ▨ AREA SHOWN ON THIS SHEET
- AREA SHOWN ON OTHER SHEETS
- NO WORK IN THIS AREA

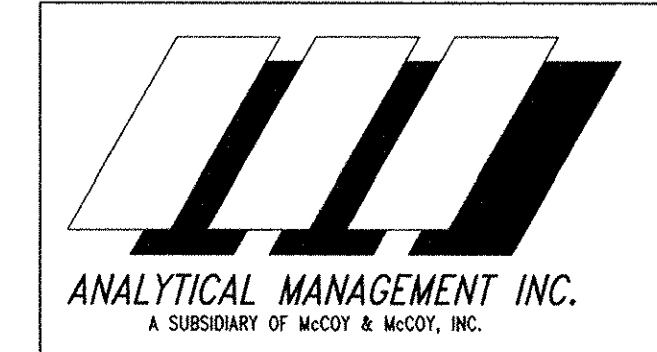
GENERAL NOTES

1. GENERAL CONTRACTOR WILL REMOVE EXISTING PRECAST CONCRETE PANELS FOR ASBESTOS ABATEMENT (EXISTING ROOFING MATERIALS) AND RE-ROOFING. COORDINATE THE WORK TO INSURE PROPER EXECUTION OF THE WORK OF BOTH CONTRACTORS.
2. FIELD VERIFY ALL DIMENSIONS.
3. AFTER CLEANING, PEDESTALS TO BE REUSED SHALL BE STOCKPILED FOR STORAGE BY THE GENERAL CONTRACTOR.
4. REMOVE DOMES FROM THE PLAZA DRAINS, SEAL DRAINS PRIOR TO BEGINNING OF ROOF REMOVAL.
5. REFER TO SHEET A-3 FOR ELECTRICAL SERVICE TO REMAIN. COORDINATE WITH OTHER TRADES.

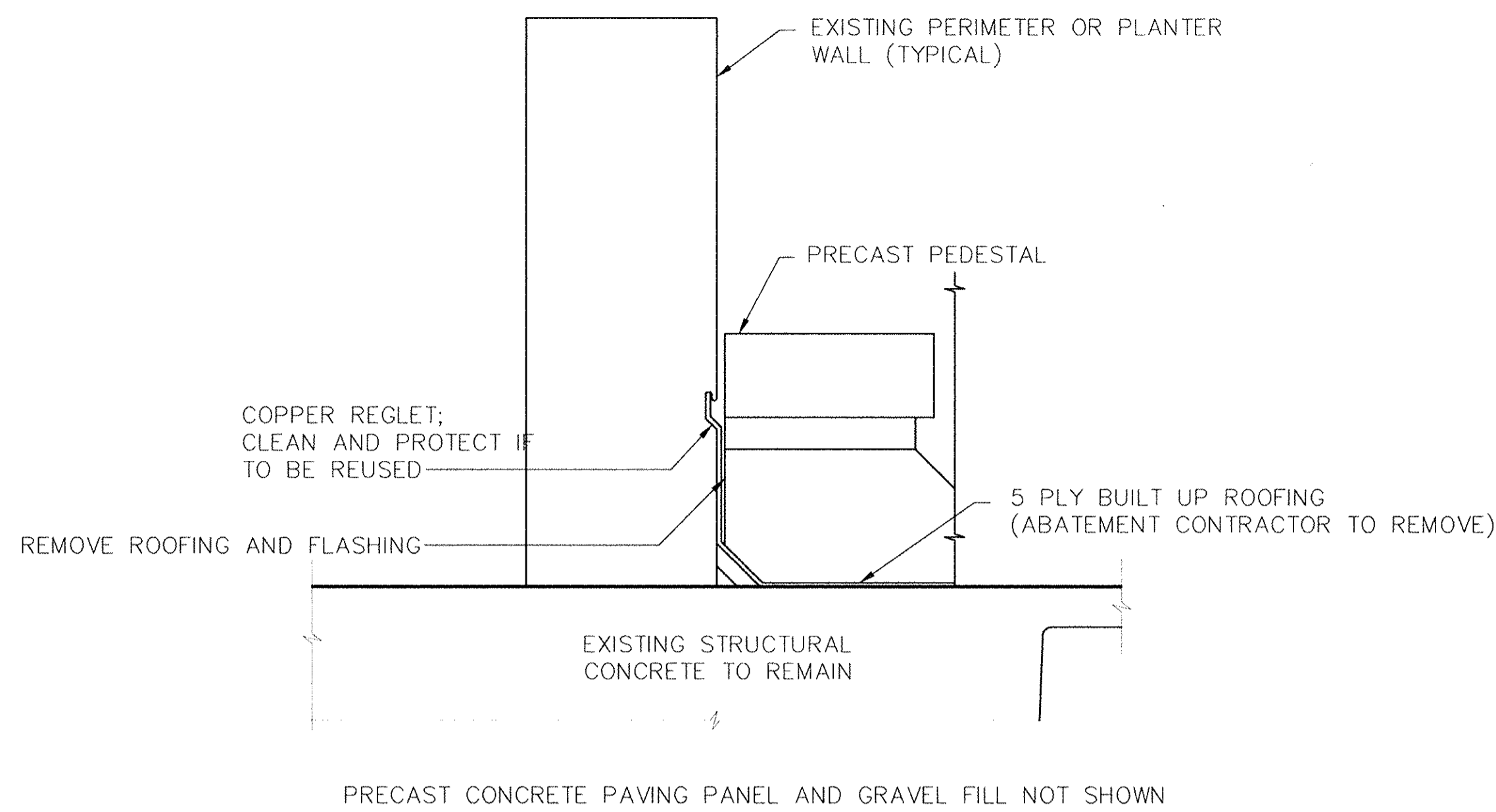
RECORD DRAWINGS
 These record drawings reflect approved changes made during construction. Date

| REVISIONS | DATE |
|-----------|----------|
| 1 | CJN 3/96 |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
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| 9 | |

| | | |
|--|--|----------------------------|
| CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | | |
| AS BUILT DATE CJN | HAZARDOUS MATERIAL ABATEMENT | DRAWING NO. HM-3 |
| DRAWN BY CJN | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY | |
| CHECKED BY JH | | |
| A & E FILE NO. 9514 | ROSS • TARRANT ARCHITECTS, INC. | |
| DATE MARCH 1996 | 206 West Main Street Lexington, Kentucky 40507 Phone (606)254-4018 Fax (606)231-5046 | |
| AGENCY AUTHORIZED AGENT | APPROVED FOR PROGRAM CONCEPT ONLY | DATE |
| DIVISION OF ENGINEERING | <i>Robert L. Schaefer</i> | DATE 4/19/96 |



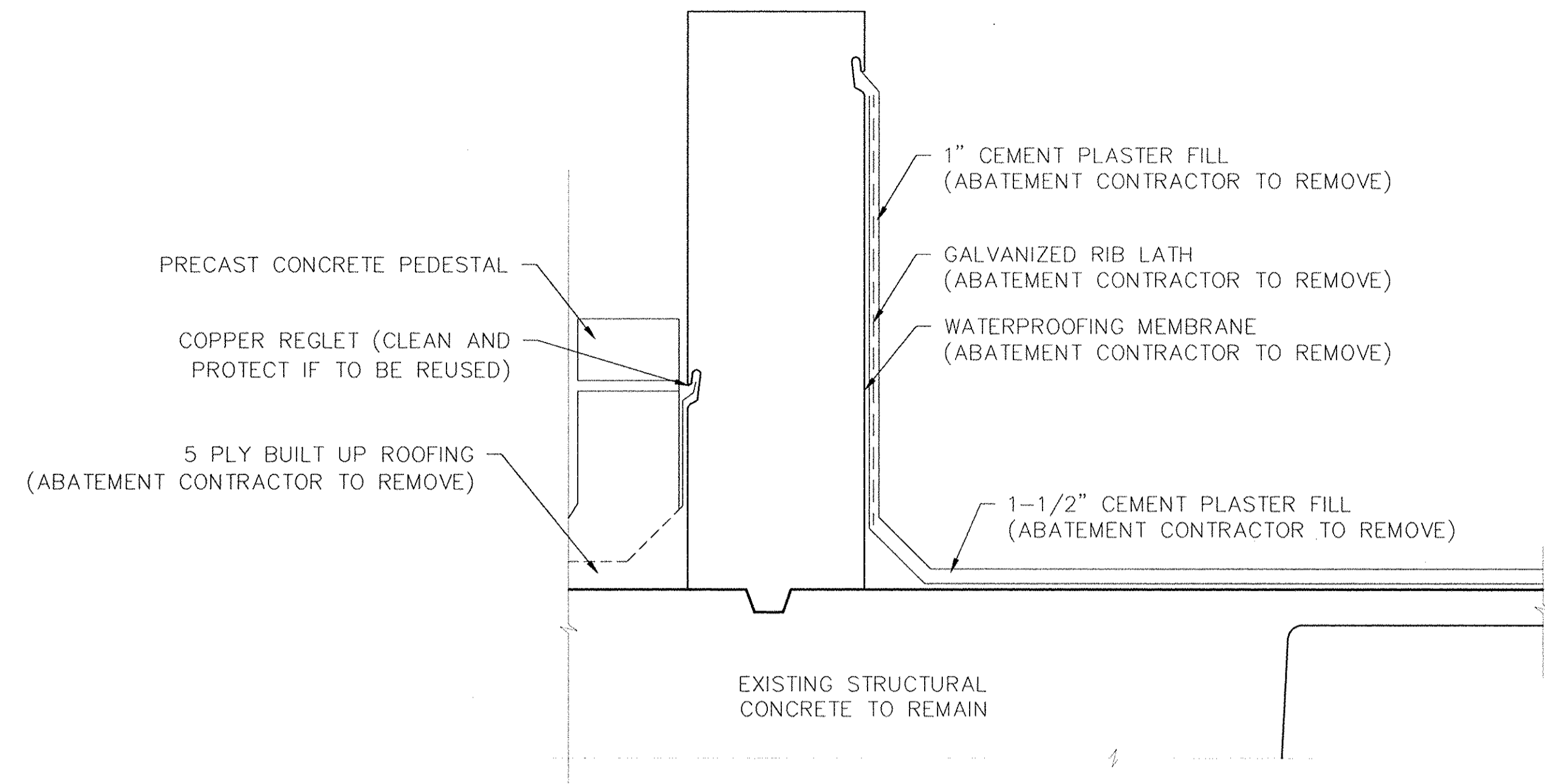
PARTIAL ROOF PLAN (SECTOR B-3)
 SCALE: 1/16" = 1'-0"



TYPICAL PERIMETER CONSTRUCTION (EXISTING)

SCALE: 1-1/2" = 1'-0"

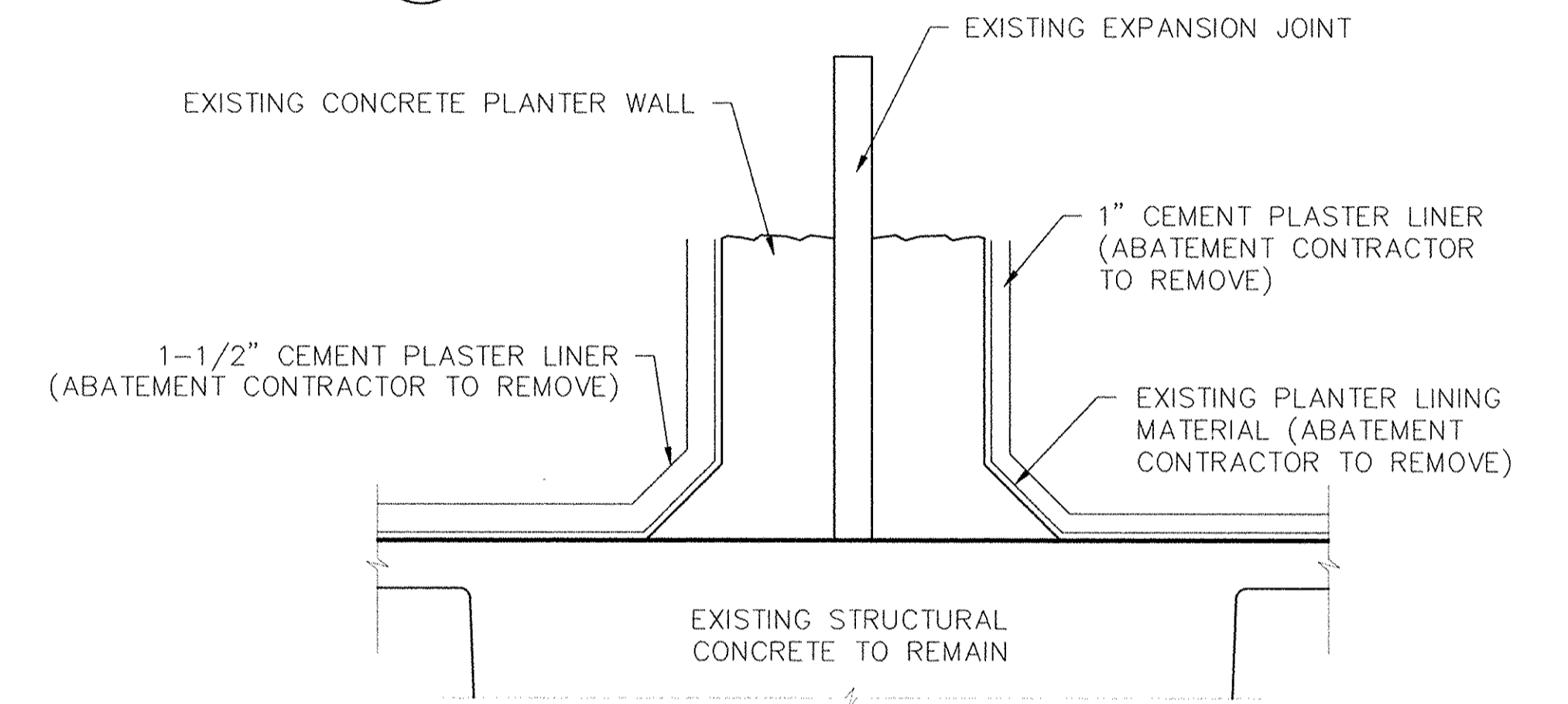
A
HM-1



TYPICAL PLANTER WALL (EXISTING)

SCALE: 1-1/2" = 1'-0"

B
HM-4

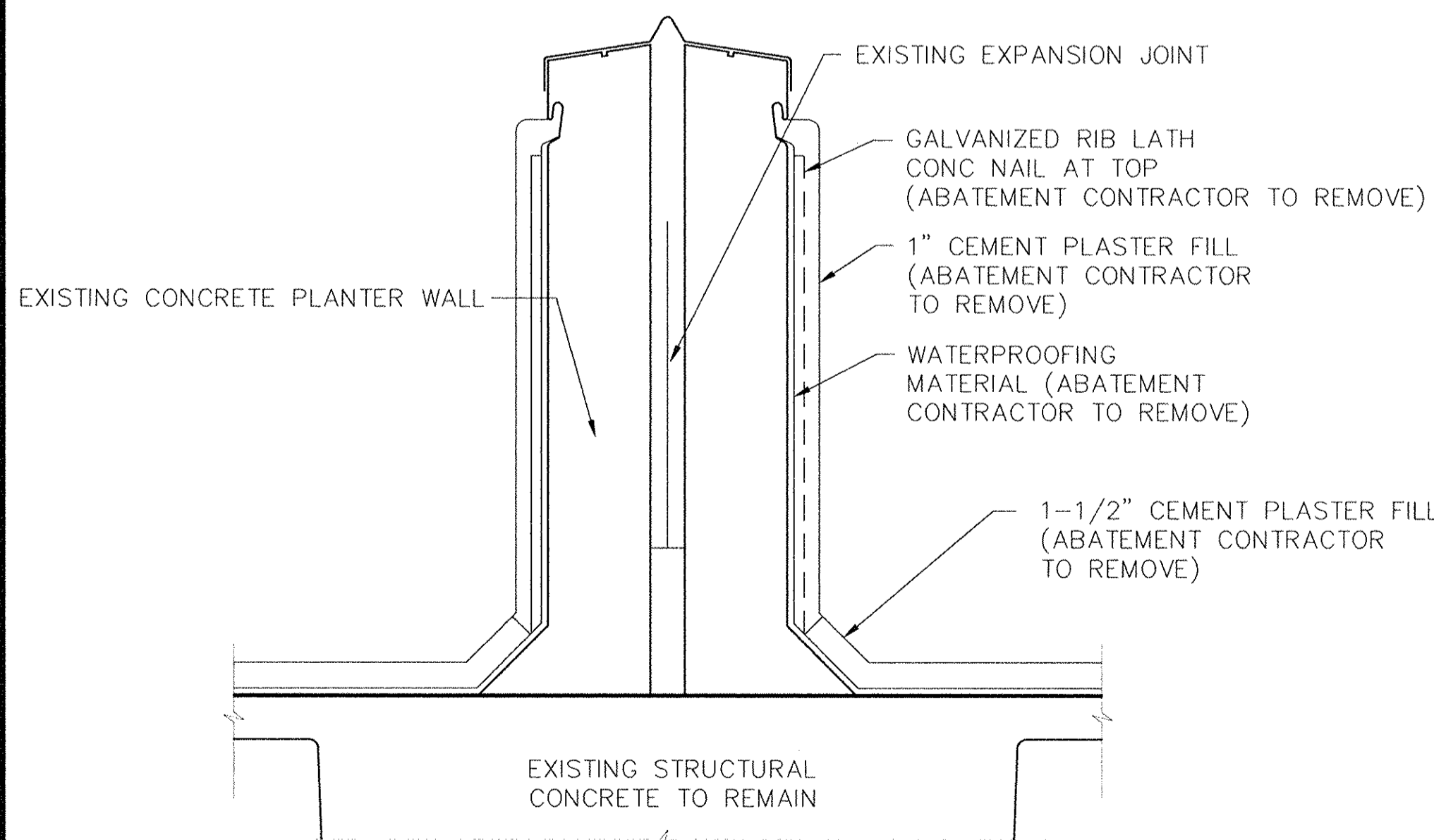


EXISTING CONCRETE SLAB, KMM ROOF MEMBRANE AND LIGHTWEIGHT CONCRETE FILL NOT SHOWN, SEE C/AD-1

PARTIAL EXPANSION JOINT AT PLANTER (EXISTING)

SCALE: 1-1/2" = 1'-0"

E
HM-1

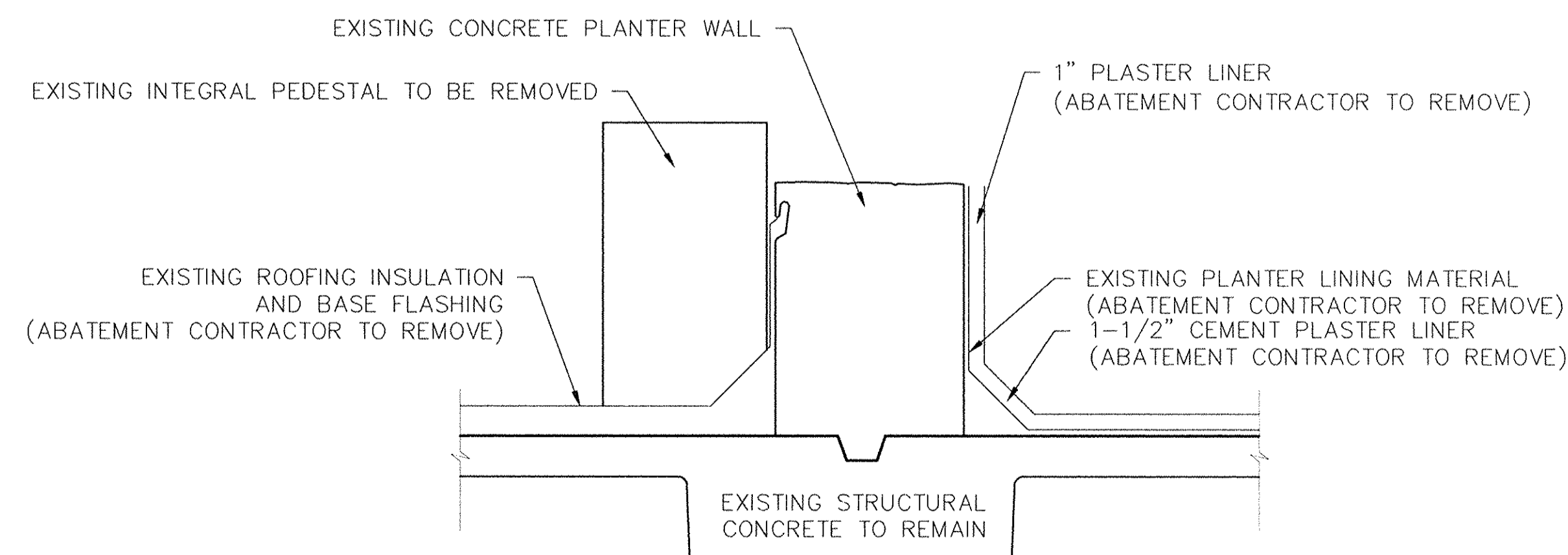


EXISTING GRAVEL FILL, FIBERGLASS MAT AND EARTH FILL NOT SHOWN

TYPICAL EXPANSION JOINT THROUGH LARGE TREE PLANTER

SCALE: 1-1/2" = 1'-0"

C
HM-1



EXISTING CONCRETE SLAB, KMM ROOF MEMBRANE AND LIGHTWEIGHT CONCRETE FILL NOT SHOWN, SEE B/AD-1

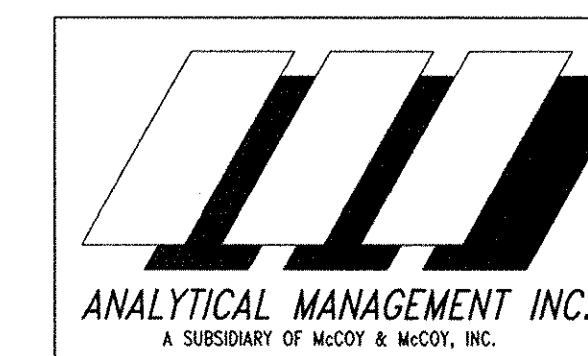
PARTIAL PLANTER WALL (EXISTING)

SCALE: 1-1/2" = 1'-0"

D
HM-1

RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date _____

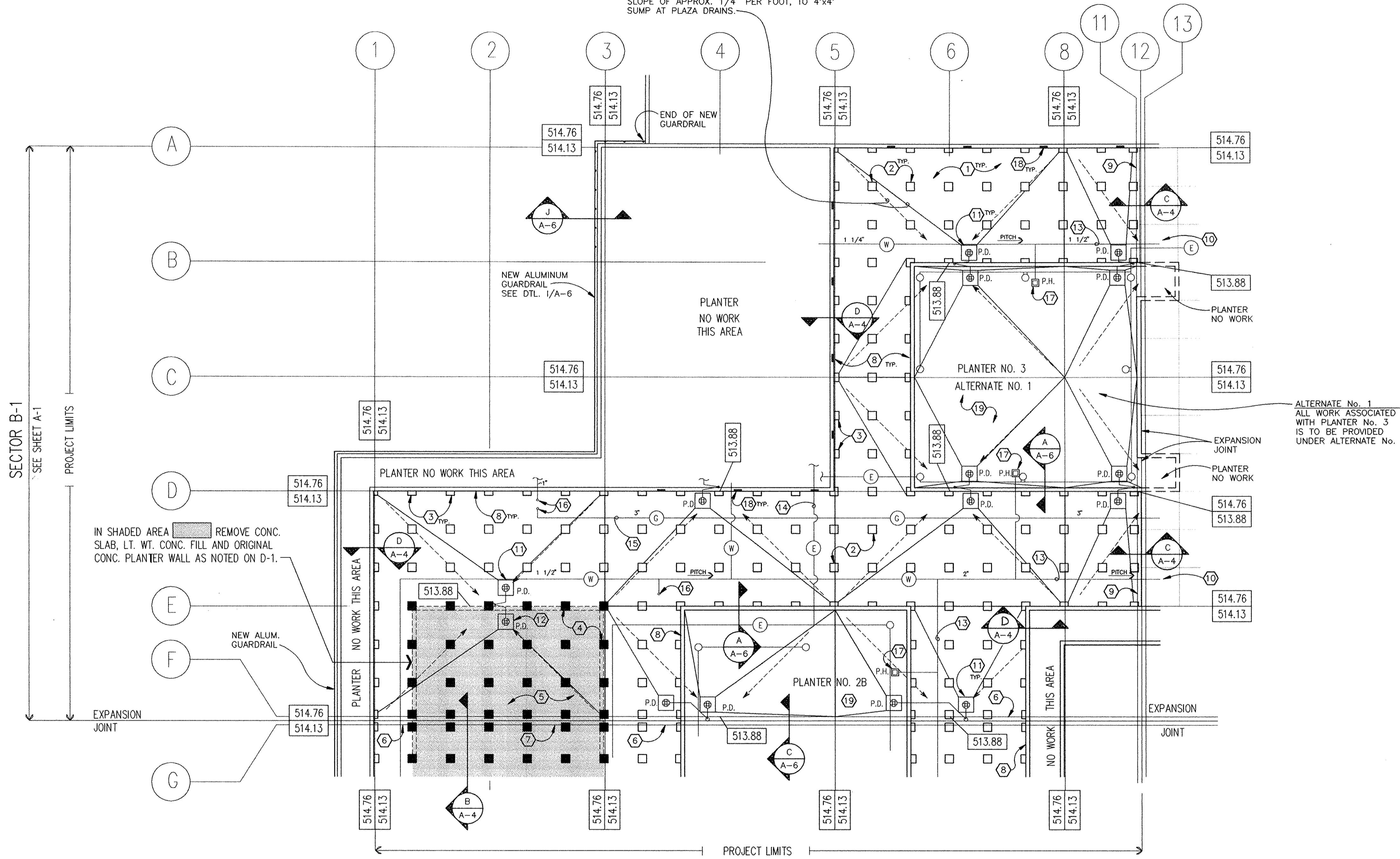
| REVISIONS | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | | |
|-----------|------|--|-------------------------|--|
| 1 | CJN | 3/96 | AS BUILT DATE | HAZARDOUS MATERIALS ABATEMENT |
| 2 | | | DRAWN BY | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY |
| 3 | | | CHECKED BY | JFH |
| 4 | | | A & E FILE NO. | 9514 |
| 5 | | | DATE | MARCH 1996 |
| 6 | | | AGENCY AUTHORIZED AGENT | APPROVED FOR PROGRAM CONCEPT ONLY |
| 7 | | | DIVISION OF ENGINEERING | APPROVED FOR PROGRAM CONCEPT ONLY |
| 8 | | | REVIEWED | DATE 4/9/96 |
| 9 | | | ENGR. FILE NO. | M-219-43 |



DASHED ARROWS INDICATE INTERSECTIONS (VALLEYS) OF SLOPING SURFACES OF EXISTING CONCRETE STRUCTURAL DECK. EXISTING SLOPE IS APPROX. 1/10" PER FOOT. CONTRACTOR TO PROVIDE NEW INSULATING CONCRETE DECK TO PROVIDE A FINAL SLOPE OF APPROX. 1/4" PER FOOT, TO 4'x4' SUMP AT PLAZA DRAINS.

NOTES

- 1 TYPICAL ROOF CONSTRUCTION. SEE DETAIL A/A-4.
- 2 EXISTING PRECAST CONCRETE PEDESTALS WITH NEW STAINLESS STEEL CAP (TYP.). PEDESTALS ARE TO BE REMOVED FOR ABATEMENT OF ROOFING MATERIAL BELOW. REINSTALL PER DETAIL A/A-5.
- 3 PRECAST CONCRETE PEDESTAL AT PLANTER WALL (OR OTHER VERTICAL SURFACE). SEE DETAIL C/A-5.
- 4 NEW PRECAST CONCRETE PEDESTAL WITH STAINLESS STEEL CAP (SHOWN SHADED). INSTALL PER DETAIL B/A-5.
- 5 IN AREAS SHOWN SHADED, PROVIDE NEW PRECAST CONCRETE PLAZA PANELS. SEE DETAIL F/A-4 FOR TYPICAL PANEL DESIGN.
- 6 EXISTING ROOF EXPANSION JOINT, PROVIDE NEW COPPER CAP, REUSE EXISTING BLOCKING AND STEEL ANGLE SUPPORT UNLESS DAMAGED. SEE DETAIL B/A-4 SIM.
- 7 NEW ROOF EXPANSION JOINT SEE DETAIL B/A-4.
- 8 CLEAN CONCRETE FACE OF ALL PLANTERS ADJACENT TO THE PRECAST PLAZA PANELS WITHIN THE LIMITS OF THE CONTRACT.
- 9 EXISTING ROOF EXPANSION JOINT AT BOUNDARY OF WORK. SEE DETAIL C/A-4.
- 10 REMOVE AND REPLACE EXISTING PANELS AS REQUIRED FOR WORK ON EXPANSION JOINTS.
- 11 FORM NEW 4'x4' SUMP AT PLAZA DRAIN WITH NEW INSULATING CONCRETE DECKING - SEE DETAIL E/A-4.
- 12 RESTORE EXISTING PLAZA DRAIN REMOVED FROM SERVICE WHEN PLANTER WAS PREVIOUSLY FILLED, OR INSTALL NEW DRAIN IF REQ'D.
- 13 EXISTING WATER PIPING BETWEEN PLAZA PANELS AND ROOF DECK TO REMAIN. PROVIDE NEW ANCHOR TO STAINLESS STEEL CAP AS SHOWN IN DETAIL K/A-5. EXISTING WATERLINES ARE INSTALLED WITH POSITIVE SLOPE FOR SEASONAL BACK DRAINING. FINAL WORK SHALL MAINTAIN OR PROVIDE POSITIVE SLOPE.
- 14 ELECTRICAL CONDUIT BETWEEN PLAZA PANELS AND ROOF DECK TO REMAIN. PROVIDE NEW ANCHOR TO STAINLESS STEEL CAP AS SHOWN IN DETAIL K/A-5. VERIFY EXTENT OF CONDUIT.
- 15 EXISTING GAS LINE BETWEEN PLAZA PANELS AND ROOF DECK. COORDINATE SHUTOFF WITH STATE WHEN WORKING IN THIS AREA. PROVIDE TEMPORARY AND PERMANENT PIPE SUPPORTS AS REQ'D.
- 16 EXISTING VERTICAL PIPE OR CONDUIT ROOF PENETRATION. INSTALL RETROFIT FLASHING PER DETAIL G/A-6.
- 17 REMOVE EXISTING PLANTER HYDRANT AND PIPING INSIDE PLANTER AREA DURING CONSTRUCTION OF ROOFING. REMOVE EXISTING CONCRETE FROM AROUND HYDRANT BOX BEFORE REINSTALLING. POUR NEW CONCRETE PER DETAIL H/A-6.
- 18 REFURBISH EXISTING LIGHT FIXTURE w/ REFLECTOR, BULB, LENSE AND PROTECTIVE FACE/GRILL AS REQUIRED. SEE DETAIL F/A-6. **CHANGE ORDER #3**
- 19 INSTALL NEW TREES (2 1/2" MIN. CALIPER) AND SHRUBS (2 GAL. MIN) TO MATCH EXISTING. PROVIDE SOD FOR ENTIRE PLANTER AREA.



PARTIAL ROOF PLAN (SECTOR B-1)

SCALE: 1/16" = 1'-0"

SYMBOLS KEY

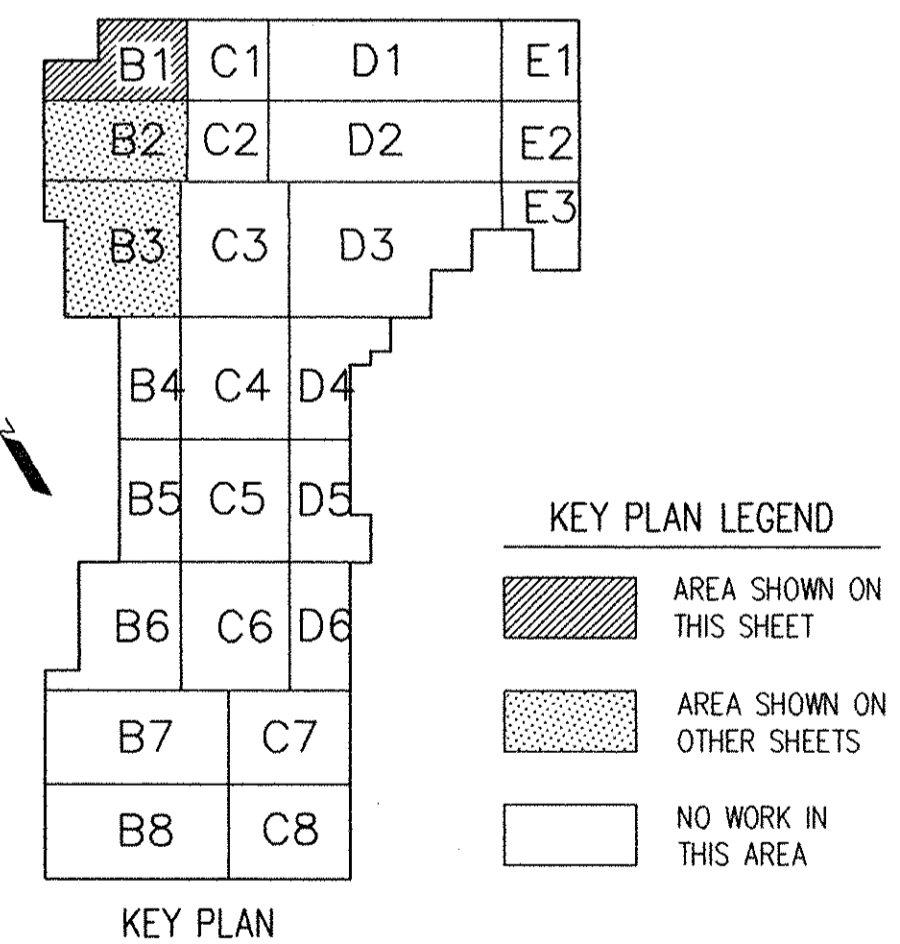
- EXISTING CONCRETE PEDESTAL
- NEW CONCRETE PEDESTAL
- W— EXISTING WATER LINE
- G— EXISTING GAS LINE
- E— EXISTING ELECTRIC LINE
- ===== EXISTING PARTIAL CONCRETE PLANTER WALL (TO BE REMOVED)
- EXISTING LIGHT FIXTURE
- P.D. ⊕ EXISTING PLAZA DRAIN TO REMAIN FORM NEW 4'x4' SUMP @ DRAIN
- P.H. ⊕ EXISTING PLANTER HYDRANT
- 514.76 DENOTES FINAL ELEVATIONS OF NEW ROOF CONSTRUCTION - SEE PLAN FOR TYP. HIGH POINTS. SEE DETAIL E/A-4 FOR ROOF ELEVATIONS AT LOW POINTS.
- 514.13 DENOTES ELEVATION OF EXISTING STRUCTURAL CONCRETE SLABS.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL PROVIDE ENCLOSURE FENCE/BARRICADE @ PROJECT LIMITS FOR SAFETY AND SECURITY AS REQ'D. THRU END OF CONSTRUCTION. ASBESTOS ABATEMENT CONTRACTOR SHALL PROVIDE ADDITIONAL ENCLOSURES, FENCING AND SIGNAGE AS REQ'D. FOR PUBLIC SAFETY UNDER THAT SCOPE OF WORK.
2. FIELD VERIFY ALL DIMENSIONS.
3. PRECAST CONCRETE PLAZA PANELS NOT SHOWN FOR CLARITY.
4. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID THE ANCHORS REQ'D. TO INSTALL FOUR (4) ANCHORS IN EACH EXISTING PRECAST CONCRETE PLAZA PANEL FOR LIFTING. APPROXIMATELY 260 EXISTING PANELS WILL NEED INSERT ANCHORS. CONTRACTOR TO FIELD VERIFY.
5. CLEAN OUT ALL LEADERS FROM ALL PLAZA AND PLANTER DRAINS. ENSURE THAT ALL DRAINS AND LEADERS FUNCTION PROPERLY.
6. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID THIRTY(30) ROOF DRAIN CLAMPING COLLARS & STRAINERS TO REPLACE EXISTING DAMAGED STRAINERS. COST WILL BE ADJUSTED (UP OR DOWN) BASED ON ACTUAL NUMBER REQUIRED, AND ACCORDING TO AGREED UPON UNIT PRICES.
7. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID FIFTY (50) BRACKETS AND PIPE HANGERS AS SHOWN IN DETAIL K/A-5 TO SUPPORT UNCHARTED PIPES OR CONDUITS. THESE SHALL BE IN ADDITION TO THOSE REQUIRED TO SUPPORT ALL PIPES AND CONDUITS SPECIFICALLY SHOWN ON DRAWINGS. THE CONTRACT SUM WILL BE ADJUSTED (UP OR DOWN) TO REFLECT THE ACTUAL NUMBER OF ADDITIONAL HANGERS REQUIRED ACCORDING TO AGREED UPON UNIT PRICES.

RECORD DRAWINGS

These record drawings reflect approved changes made during construction. Date 7-15-97

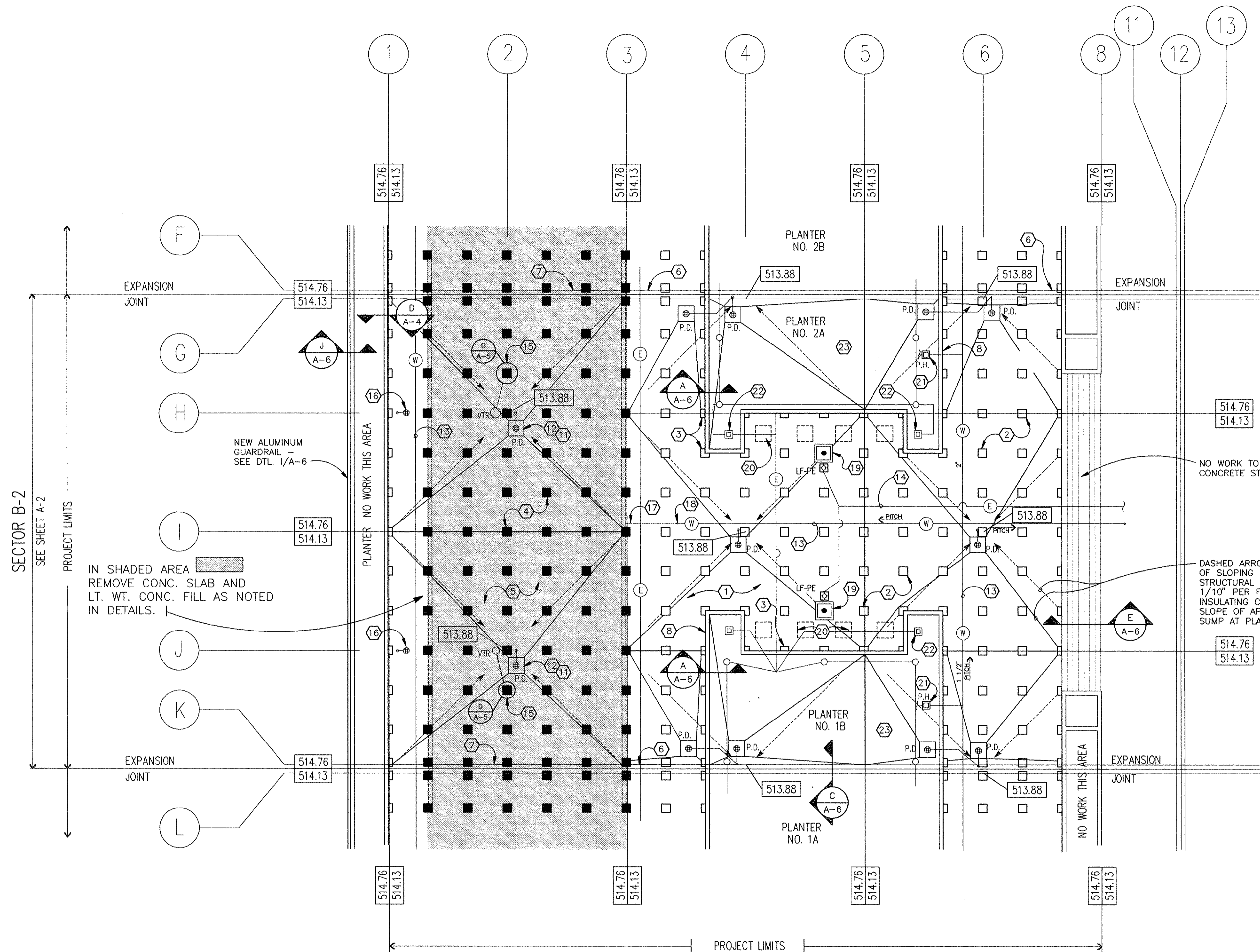


| REVISIONS | DATE | CAPITAL PLAZA ROOF REPAIR - PHASE 2 FRANKFORT, KENTUCKY | |
|-------------------------|------|--|--|
| 1 | | AS BUILT DATE | DRAWING NO. |
| 2 | | PARTIAL ROOF PLAN | |
| 3 | | DRAWN BY | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY |
| 4 | | FJK, RMD | |
| 5 | | CHECKED BY | ROSS • TARRANT ARCHITECTS, INC. 208 West Main Street Lexington, Kentucky 40507 Phone (606)254-4618 Fax (606)231-5046 |
| 6 | | REM, JAR | |
| 7 | | A & E FILE NO. | ENGR. FILE NO. |
| 8 | | 9514 | M-219-43 |
| 9 | | DATE | |
| | | MARCH 1996 | |
| AGENCY AUTHORIZED AGENT | | APPROVED FOR PROGRAM CONCEPT ONLY | DATE |
| DIVISION OF ENGINEERING | | <i>Robert W. Schaefer</i> | 4/9/96 |

CP/153

NOTES

- 1 TYPICAL ROOF CONSTRUCTION. SEE DETAIL A/A-4.
- 2 EXISTING PRECAST CONCRETE PEDESTALS WITH NEW STAINLESS STEEL CAP (TYP.). PEDESTALS ARE TO BE REMOVED FOR ABATEMENT OF ROOFING MATERIAL BELOW. REINSTALL PER DETAIL A/A-5.
- 3 PRECAST CONCRETE PEDESTAL AT PLANTER WALL (OR OTHER VERTICAL SURFACE). SEE DETAIL C/A-5
- 4 NEW PRECAST CONCRETE PEDESTAL WITH STAINLESS STEEL CAP (SHOWN SHADED). INSTALL PER DETAIL B/A-5
- 5 IN AREAS SHOWN SHADED, PROVIDE NEW PRECAST CONCRETE PLAZA PANELS. SEE DETAIL F/A-4 FOR TYPICAL PANEL DESIGN.
- 6 EXISTING ROOF EXPANSION JOINT, PROVIDE NEW COPPER CAP, REUSE EXISTING BLOCKING AND STEEL ANGLE SUPPORT UNLESS DAMAGED. SEE DETAIL B/A-4 SIM.
- 7 NEW ROOF EXPANSION JOINT SEE DETAIL B/A-4
- 8 CLEAN CONCRETE FACE OF ALL PLANTERS ADJACENT TO THE PRECAST PLAZA PANELS WITHIN THE LIMITS OF THE CONTRACT.
- 9 EXISTING ROOF EXPANSION JOINT AT BOUNDARY OF WORK. SEE DETAIL C/A-4.
- 10 REMOVE AND REPLACE EXISTING PANELS AS REQUIRED FOR WORK ON EXPANSION JOINTS.
- 11 FORM NEW 4'x4' SUMP AT PLAZA DRAIN WITH NEW INSULATING CONCRETE DECKING - SEE DETAIL E/A-4.
- 12 RESTORE EXISTING PLAZA DRAIN FROM SERVICE WHEN PLANTER WAS PREVIOUSLY FILLED, OR INSTALL NEW DRAIN AS REQ'D.
- 13 EXISTING WATER PIPING BETWEEN PLAZA PANELS AND ROOF DECK TO REMAIN. PROVIDE NEW ANCHOR TO STAINLESS STEEL CAP AS SHOWN IN DETAIL K/A-5. EXISTING WATERLINES ARE INSTALLED WITH POSITIVE SLOPE FOR SEASONAL BACK DRAINING. FINAL WORK SHALL MAINTAIN OR PROVIDE POSITIVE SLOPE.
- 14 ELECTRICAL CONDUIT BETWEEN PLAZA PANELS AND ROOF DECK TO REMAIN. PROVIDE NEW ANCHOR TO STAINLESS STEEL CAP AS SHOWN IN DETAIL K/A-5. VERIFY EXTENT OF CONDUIT.
- 15 RELOCATE EXISTING LIGHT FIXTURE/VENT STACK, EXTEND VENT PIPING FROM BELOW STRUCTURAL SLAB - SLOPE MINIMUM 1/8" PER FOOT TO NEW LOCATION. SEE DETAIL D/A-5 & L/A-5.
- 16 REMOVE DOME OF EXISTING ROOF DRAIN & SEAL DRAIN PRIOR TO COVERING WITH INSULATING CONCRETE TO SLOPE TO DRAIN.
- 17 TERMINATE EXISTING WATER LINE JUST BEYOND 1" DROP.
- 18 PROVIDE NEOPRENE RETROFIT FLASHING OF EXISTING PIPE OR CONDUIT. SEE DETAIL G/A-6.
- 19 EXISTING FLAGPOLES AND LIGHTS TO REMAIN. SEE DTL. I/A-4 & J/A-4.
- 20 REMOVE AND REPLACE EXISTING PRECAST CONCRETE BENCHES AS REQUIRED BY WORK IN THIS AREA.
- 21 REMOVE EXISTING PLANTER HYDRANT AND PIPING INSIDE PLANTER AREA DURING CONSTRUCTION OF ROOFING. REMOVE EXISTING CONCRETE FROM AROUND HYDRANT BOX BEFORE REINSTALLING. POUR NEW CONCRETE PER DETAIL H/A-6.
- 22 EXISTING LIGHT POLE BASE TO RECEIVE NEW S.S. CAP PER DTL. D/A-6. C.O.#4
- 23 INSTALL NEW TREES (2-1/2" MIN CALIPER) AND SHRUBS (2 GAL MIN) TO MATCH EXISTING PROVIDE SOD FOR ENTIRE PLANTER AREA



PARTIAL ROOF PLAN (SECTOR B-2)

SCALE: 1/16" = 1'-0"

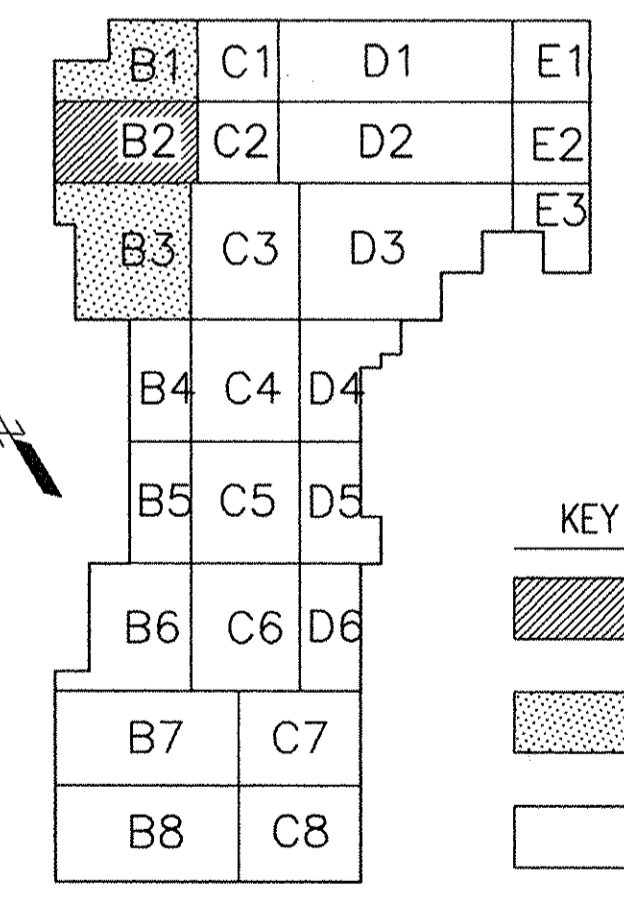
SYMBOLS KEY

- EXISTING CONCRETE PEDESTAL
- NEW CONCRETE PEDESTAL
- (W)— EXISTING WATER LINE
- (G)— EXISTING GAS LINE
- (E)— EXISTING ELECTRIC LINE
- ==== EXISTING PARTIAL CONCRETE PLANTER WALL (TO BE REMOVED)
- (L)— EXISTING LIGHT FIXTURE
- P.D. ⊕ EXISTING PLAZA DRAIN TO REMAIN FORM NEW 4'x4' SUMP @ DRAIN
- P.H. □ EXISTING PLANTER HYDRANT
- 514.76 DENOTES FINAL ELEVATIONS OF NEW ROOF CONSTRUCTION - SEE PLAN FOR TYP. HIGH POINTS. SEE DETAIL E/A-4 FOR ROOF ELEVATIONS AT LOW POINTS.
- 514.13 DENOTES ELEVATION OF EXISTING STRUCTURAL CONCRETE SLABS.

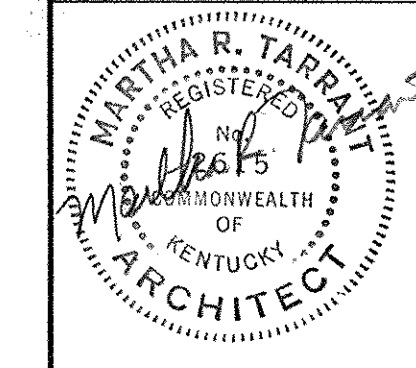
GENERAL NOTES

1. GENERAL CONTRACTOR SHALL PROVIDE ENCLOSURE FENCE/BARRICADE @ PROJECT LIMITS FOR SAFETY AND SECURITY AS REQ'D, THRU END OF CONSTRUCTION. ASBESTOS ABATEMENT CONTRACTOR SHALL PROVIDE ADDITIONAL ENCLOSURES, FENCING AND SIGNAGE AS REQ'D. FOR PUBLIC SAFETY UNDER THAT SCOPE OF WORK.
2. FIELD VERIFY ALL DIMENSIONS.
3. PRECAST CONCRETE PLAZA PANELS NOT SHOWN FOR CLARITY.
4. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID THE ANCHORS REQ'D. TO INSTALL FOUR (4) ANCHORS IN EACH EXISTING PRECAST CONCRETE PLAZA PANEL FOR LIFTING. APPROXIMATELY 260 EXISTING PANELS WILL NEED INSERT ANCHORS. CONTRACTOR TO FIELD VERIFY.
5. CLEAN OUT ALL LEADERS FROM ALL PLAZA AND PLANTER DRAINS. ENSURE THAT ALL DRAINS AND LEADERS FUNCTION PROPERLY.
6. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID THIRTY(30) ROOF DRAIN CLAMPING COLLARS & STRAINERS TO REPLACE EXISTING DAMAGED STRAINERS. COST WILL BE ADJUSTED (UP OR DOWN) BASED ON ACTUAL NUMBER REQUIRED, AND ACCORDING TO AGREED UPON UNIT PRICES.
7. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID FIFTY (50) BRACKETS AND PIPE HANGERS AS SHOWN IN DETAIL K/A-5 TO SUPPORT UNCHARTED PIPES OR CONDUITS. THESE SHALL BE IN ADDITION TO THOSE REQUIRED TO SUPPORT ALL PIPES AND CONDUITS SPECIFICALLY SHOWN ON DRAWINGS. THE CONTRACT SUM WILL BE ADJUSTED (UP OR DOWN) TO REFLECT THE ACTUAL NUMBER OF ADDITIONAL HANGERS REQUIRED ACCORDING TO AGREED UPON UNIT PRICES.

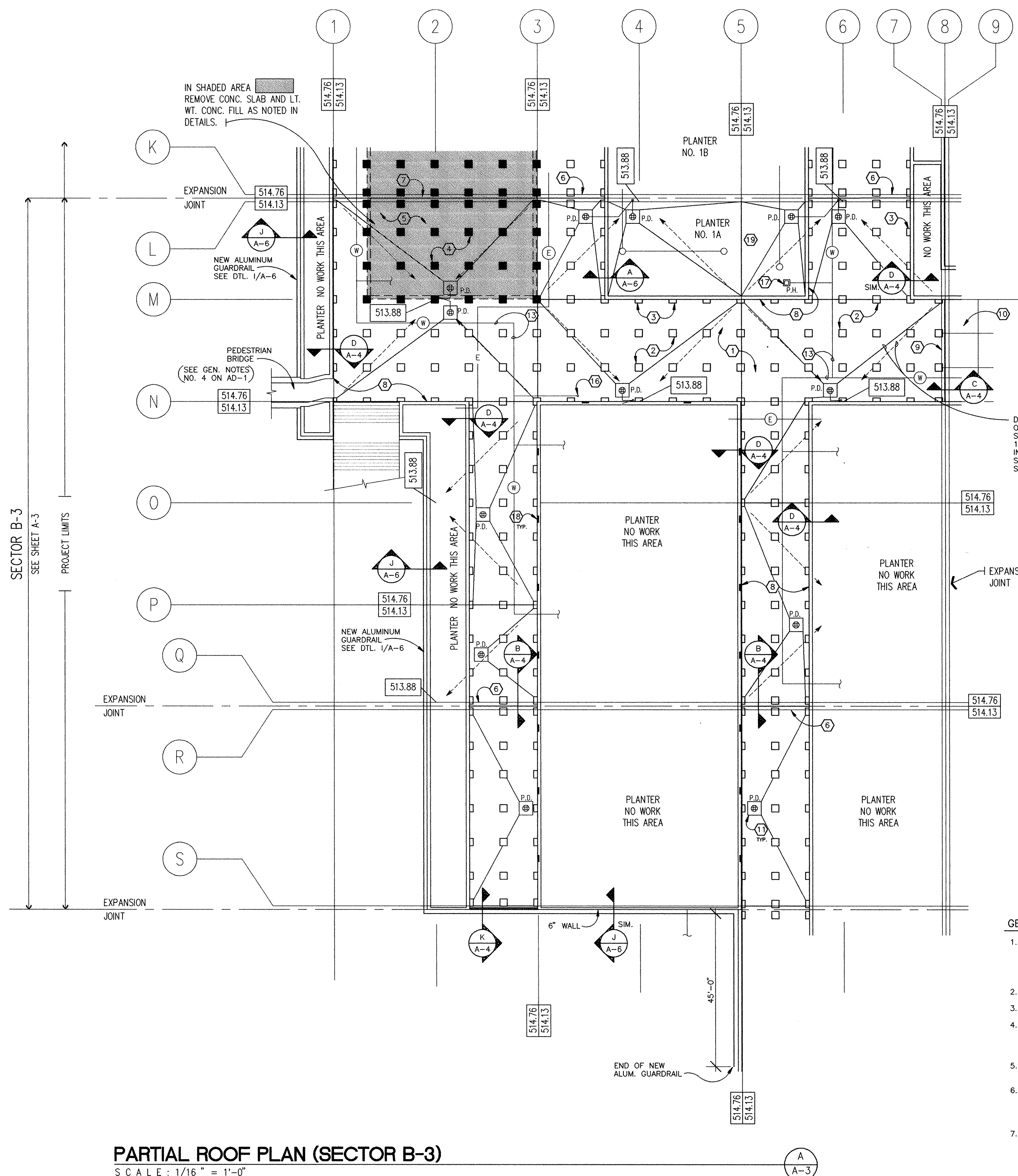
RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date 7-15-97



| REVISIONS | | DATE | CAPITAL PLAZA ROOF REPAIR - PHASE 2 FRANKFORT, KENTUCKY | |
|-----------|--|------|--|--|
| 1 | | | PARTIAL ROOF PLAN | |
| 2 | | | DRAWING NO. A-2 | |
| 3 | | | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY | |
| 4 | | | REVIEWED DIV. OF ENGR. | |
| 5 | | | ENGR. FILE NO. M-219-43 | |
| 6 | | | ROSS + TARRANT ARCHITECTS, INC. 226 West Main Street Lexington, Kentucky 40507 Phone (606)254-4018 Fax (606)231-5046 | |
| 7 | | | AGENCY AUTHORIZED AGENT | |
| 8 | | | APPROVED FOR PROGRAM CONCEPT ONLY | |
| 9 | | | DATE | |
| | | | APPROVED FOR PROGRAM CONCEPT ONLY | |
| | | | DATE | |



CPA-151



NOTES

- 1 TYPICAL ROOF CONSTRUCTION. SEE DETAIL A/A-4.
- 2 EXISTING PRECAST CONCRETE PEDESTALS WITH NEW STAINLESS STEEL CAP (TYP.). PEDESTALS ARE TO BE REMOVED FOR ABATEMENT OF ROOFING MATERIAL BELOW. REINSTALL PER DETAIL A/A-5.
- 3 PRECAST CONCRETE PEDESTAL AT PLANTER WALL (OR OTHER VERTICAL SURFACE). SEE DETAIL C/A-5
- 4 NEW PRECAST CONCRETE PEDESTAL WITH STAINLESS STEEL CAP (SHOWN SHADED). INSTALL PER DETAIL B/A-5
- 5 IN AREAS SHOWN SHADED, PROVIDE NEW PRECAST CONCRETE PLAZA PANELS. SEE DETAIL F/A-4 FOR TYPICAL PANEL DESIGN.
- 6 EXISTING ROOF EXPANSION JOINT, PROVIDE NEW COPPER CAP, REUSE EXISTING BLOCKING AND STEEL ANGLE SUPPORT UNLESS DAMAGED. SEE DETAIL B/A-4 SIM.
- 7 NEW ROOF EXPANSION JOINT SEE DETAIL B/A-4
- 8 CLEAN CONCRETE FACE OF ALL PLANTERS ADJACENT TO THE PRECAST PLAZA PANELS WITHIN THE LIMITS OF THE CONTRACT.
- 9 EXISTING ROOF EXPANSION JOINT AT BOUNDARY OF WORK. SEE DETAIL C/A-4.
- 10 REMOVE AND REPLACE EXISTING PANELS AS REQUIRED FOR WORK ON EXPANSION JOINTS.
- 11 FORM NEW 4'x4' SUMP AT PLAZA DRAIN WITH NEW INSULATING CONCRETE DECKING - SEE DETAIL E/A-4.
- 12 RESTORE EXISTING PLAZA DRAIN REMOVED FROM SERVICE WHEN PLANTER WAS PREVIOUSLY FILLED, OR INSTALL NEW DRAIN IF REQ'D.
- 13 EXISTING WATER PIPING BETWEEN PLAZA PANELS AND ROOF DECK TO REMAIN. PROVIDE NEW ANCHOR TO STAINLESS STEEL CAP AS SHOWN IN DETAIL K/A-5. EXISTING WATERLINES ARE INSTALLED WITH POSITIVE SLOPE FOR SEASONAL BACK DRAINING. FINAL WORK SHALL MAINTAIN OR PROVIDE POSITIVE SLOPE.
- 14 ELECTRICAL CONDUIT BETWEEN PLAZA PANELS AND ROOF DECK TO REMAIN. PROVIDE NEW ANCHOR TO STAINLESS STEEL CAP AS SHOWN IN DETAIL K/A-5. VERIFY EXTENT OF CONDUIT.
- 15 NOT USED
- 16 EXISTING VERTICAL PIPE OR CONDUIT ROOF PENETRATION. INSTALL RETROFIT FLASHING PER DETAIL G/A-6.
- 17 REMOVE EXISTING PLANTER HYDRANT AND PIPING INSIDE PLANTER AREA DURING CONSTRUCTION OF ROOFING. REMOVE EXISTING CONCRETE FROM AROUND HYDRANT BOX BEFORE REINSTALLING. POUR NEW CONCRETE PER DETAIL H/A-6.
- 18 REFURBISH EXISTING LIGHT FIXTURE w/ REFLECTOR, BULB, LENSE AND PROTECTIVE FACE/GRILL AS REQUIRED. SEE DETAIL F/A-6.
- 19 INSTALL NEW TREES (2-1/2" MIN. CALIPER) AND SHRUBS (2 GAL MIN) TO MATCH EXISTING PROVIDE SOD FOR ENTIRE PLANTER AREA

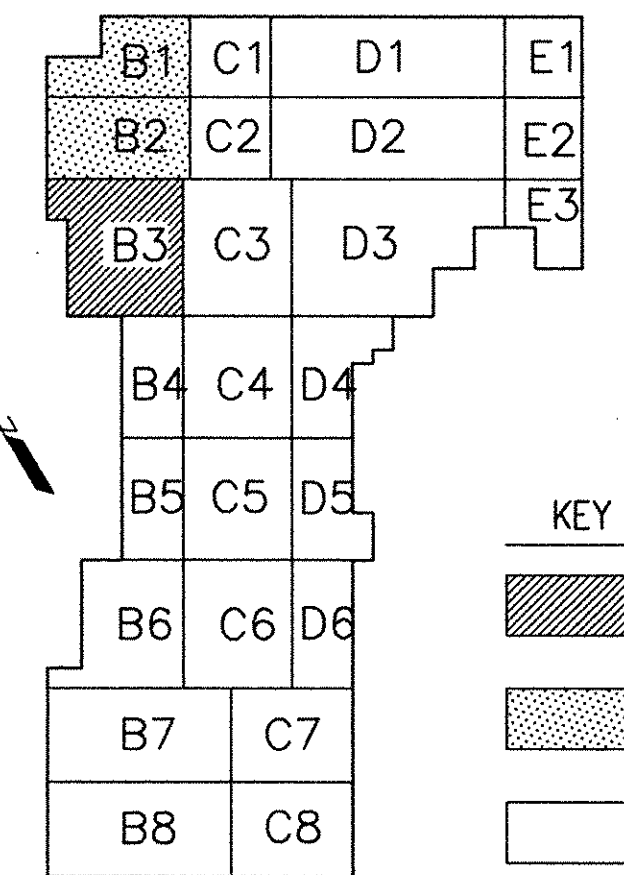
DASHED ARROWS INDICATE INTERSECTIONS (VALLEYS) OF SLOPING SURFACES OF EXISTING CONCRETE STRUCTURAL DECK. EXISTING SLOPE IS APPROX. 1/10" PER FOOT. CONTRACTOR TO PROVIDE NEW INSULATING CONCRETE DECK TO PROVIDE A FINAL SLOPE OF APPROX. 1/4" PER FOOT, TO 4'x4' SUMP AT PLAZA DRAINS.

SYMBOLS KEY

- EXISTING CONCRETE PEDESTAL
- NEW CONCRETE PEDESTAL
- (W)— EXISTING WATER LINE
- (G)— EXISTING GAS LINE
- (E)— EXISTING ELECTRIC LINE
- ===== EXISTING PARTIAL CONCRETE PLANTER WALL (TO BE REMOVED)
- (L)— EXISTING LIGHT FIXTURE
- P.D. ⊕ EXISTING PLAZA DRAIN TO REMAIN
FORM NEW 4'x4' SUMP ⊕ DRAIN
- P.H. ⊕ EXISTING PLANTER HYDRANT TO REMAIN
- 514.76 DENOTES FINAL ELEVATIONS OF NEW ROOF CONSTRUCTION - SEE PLAN FOR TYP. HIGH POINTS. SEE DETAIL H/A-4 FOR ROOF ELEVATIONS AT LOW POINTS.
- 514.13 DENOTES ELEVATION OF EXISTING STRUCTURAL CONCRETE SLABS.

GENERAL NOTES

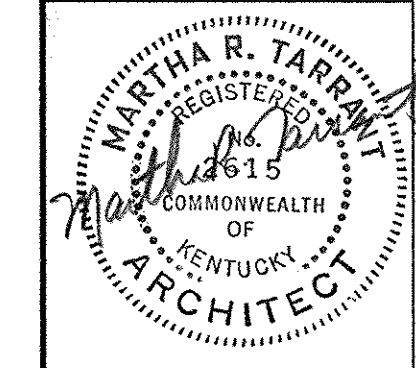
1. GENERAL CONTRACTOR SHALL PROVIDE ENCLOSURE FENCE/BARRICADE @ PROJECT LIMITS FOR SAFETY AND SECURITY AS REQ'D., THRU END OF CONSTRUCTION. ASBESTOS ABATEMENT CONTRACTOR SHALL PROVIDE ADDITIONAL ENCLOSURES, FENCING AND SIGNAGE AS REQ'D. FOR PUBLIC SAFETY UNDER THAT SCOPE OF WORK.
2. FIELD VERIFY ALL DIMENSIONS.
3. PRECAST CONCRETE PLAZA PANELS NOT SHOWN FOR CLARITY.
4. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID THE ANCHORS REQ'D. TO INSTALL FOUR (4) ANCHORS IN EACH EXISTING PRECAST CONCRETE PLAZA PANEL FOR LIFTING. APPROXIMATELY 260 EXISTING PANELS WILL NEED INSERT ANCHORS. CONTRACTOR TO FIELD VERIFY.
5. CLEAN OUT ALL LEADERS FROM ALL PLAZA AND PLANTER DRAINS. ENSURE THAT ALL DRAINS AND LEADERS FUNCTION PROPERLY.
6. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID THIRTY(30) ROOF DRAIN CLAMPING COLLARS & STRAINERS TO REPLACE EXISTING DAMAGED STRAINERS. COST WILL BE ADJUSTED (UP OR DOWN) BASED ON ACTUAL NUMBER REQUIRED, AND ACCORDING TO AGREED UPON UNIT PRICES.
7. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID FIFTY (50) BRACKETS AND PIPE HANGERS AS SHOWN IN DETAIL K/A-5 TO SUPPORT UNCHARTED PIPES OR CONDUITS. THESE SHALL BE IN ADDITION TO THOSE REQUIRED TO SUPPORT ALL PIPES AND CONDUITS SPECIFICALLY SHOWN ON DRAWINGS. THE CONTRACT SUM WILL BE ADJUSTED (UP OR DOWN) TO REFLECT THE ACTUAL NUMBER OF ADDITIONAL HANGERS REQUIRED ACCORDING TO AGREED UPON UNIT PRICES.



RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date 7-15-97

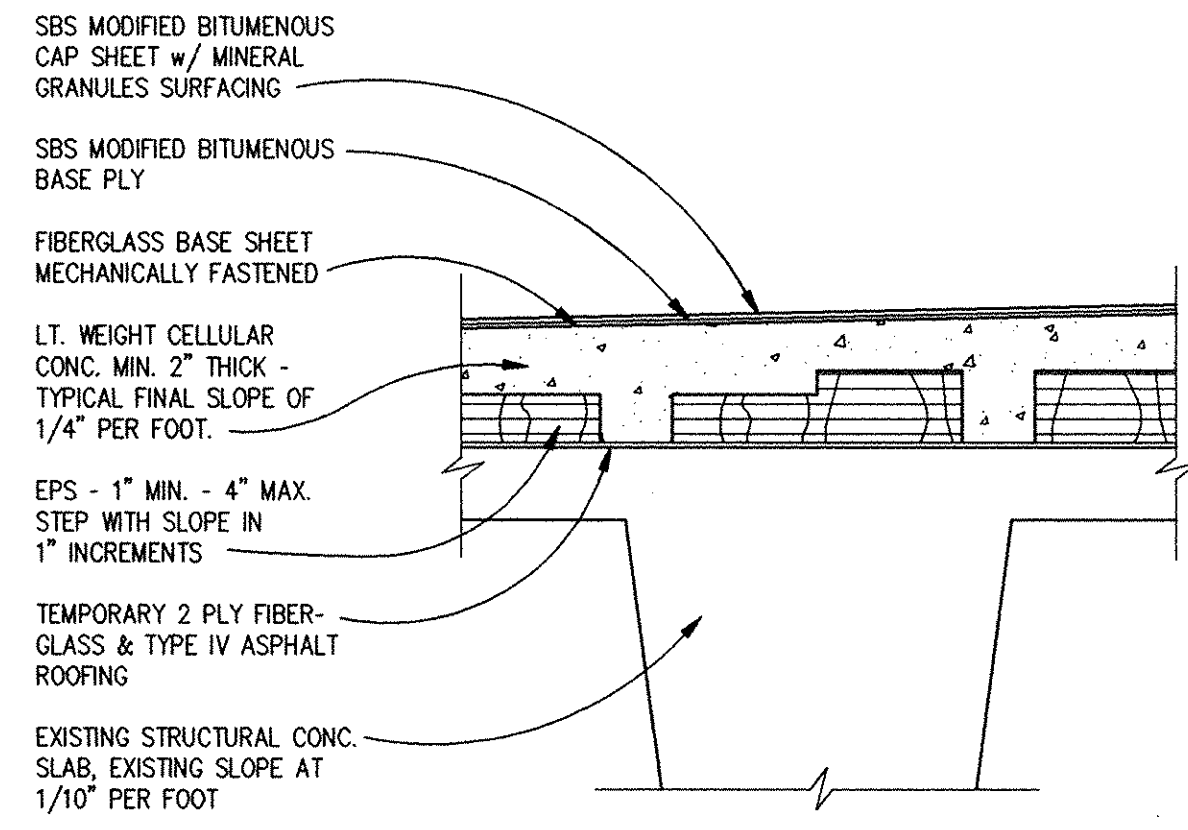
PARTIAL ROOF PLAN (SECTOR B-3)
SCALE: 1/16" = 1'-0"

| REVISIONS | | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | |
|-----------|--|------|--|--|
| 1 | | | PARTIAL ROOF PLAN | |
| 2 | | | AS BUILT DATE | DRAWING NO. |
| 3 | | | | A-3 |
| 4 | | | DRAWN BY F.J.K, RMD | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY |
| 5 | | | CHECKED BY REM, JAR | REVIEWED DIV. OF ENGR. |
| 6 | | | A & E FILE NO. 9514 | ROSS • TARRANT ARCHITECTS, INC. |
| 7 | | | DATE MARCH 1996 | 206 West Main Street, Lexington, Kentucky 40507 Phone (606)254-4018 Fax (606)231-5046 |
| 8 | | | AGENCY AUTHORIZED AGENT | ENGR. FILE NO. M-219-43 |
| 9 | | | DIVISION OF ENGINEERING | APPROVED FOR PROGRAM CONCEPT ONLY DATE 4/9/96 |



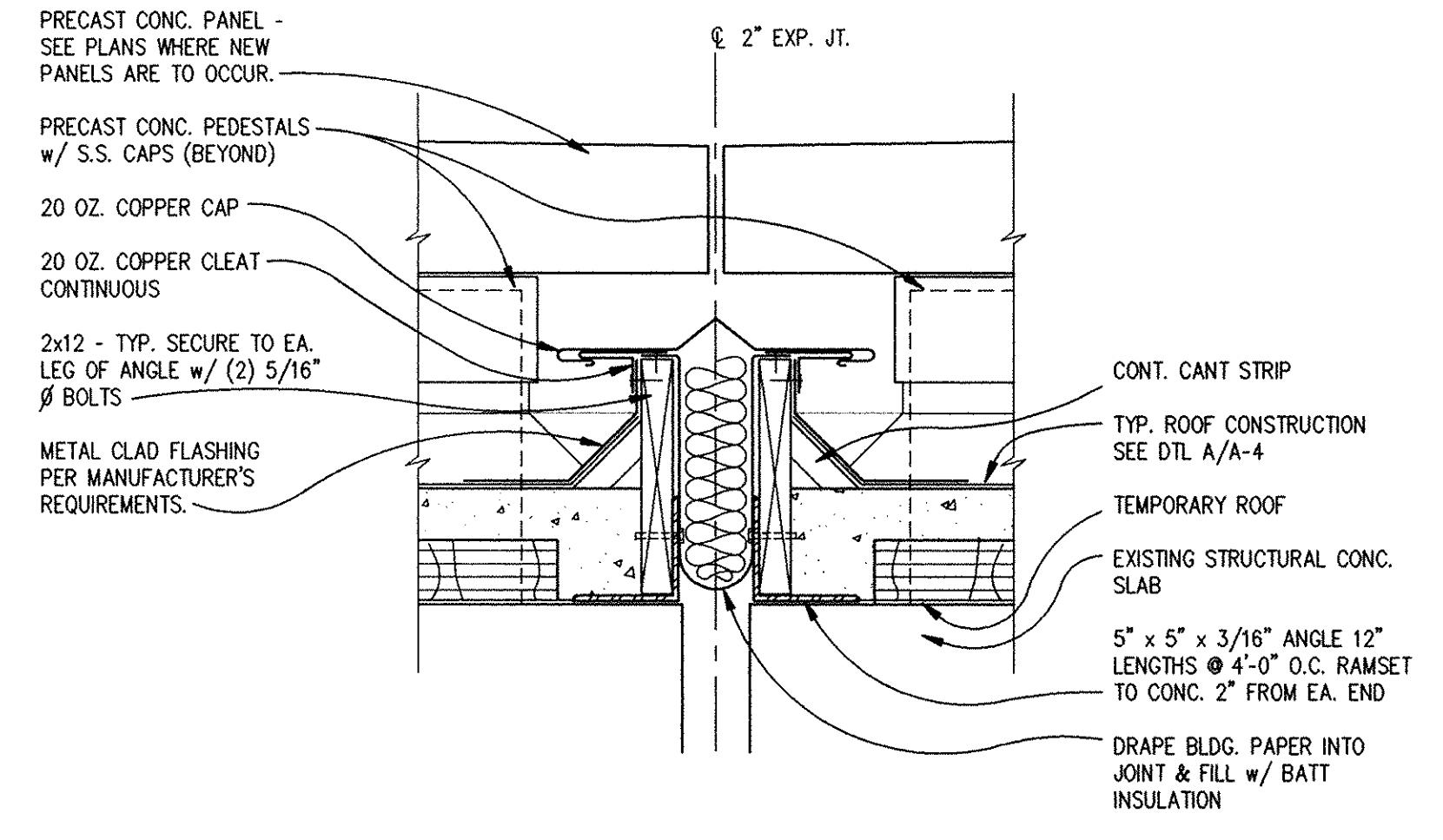
APPROVED FOR PROGRAM CONCEPT ONLY
DATE 4/9/96

NOTE: ROOF THICKNESS VARIES - COORD. SLOPE WITH ELEVATIONS SHOWN ON PLAN AND DTL. D/A-4 AND E/A-4

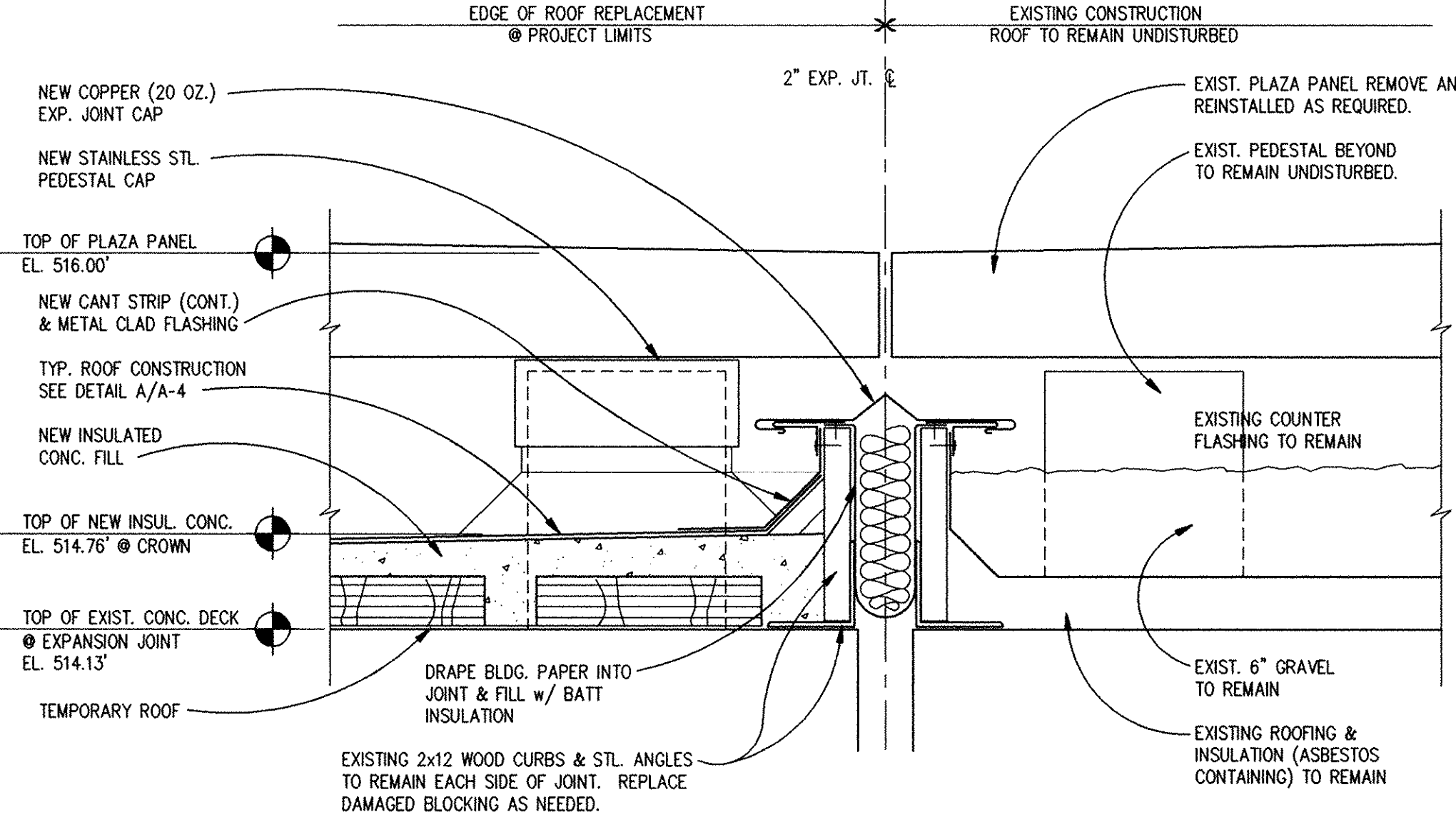


TYPICAL ROOFING SYS. SECTION (A)
SCALE: 1 1/2" = 1'-0"

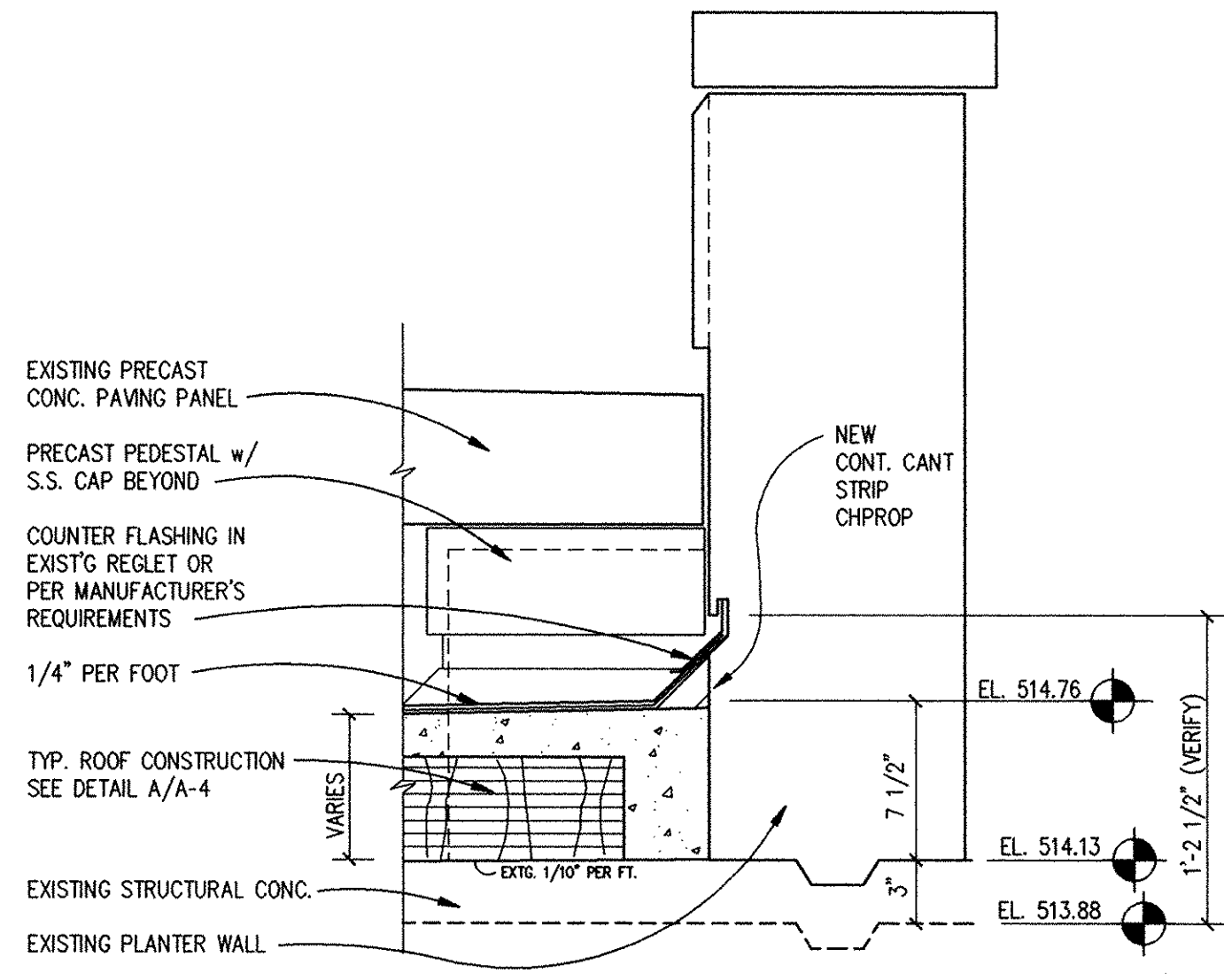
NOTE: AT EXIST. EXP. JOINTS, REUSE EXIST. 2x12 BLOCKING & STL. ANGLE SUPPORT - REPLACE DAMAGED BLOCKING AS NEEDED. INSTALL NEW COPPER CAP PER DETAIL.



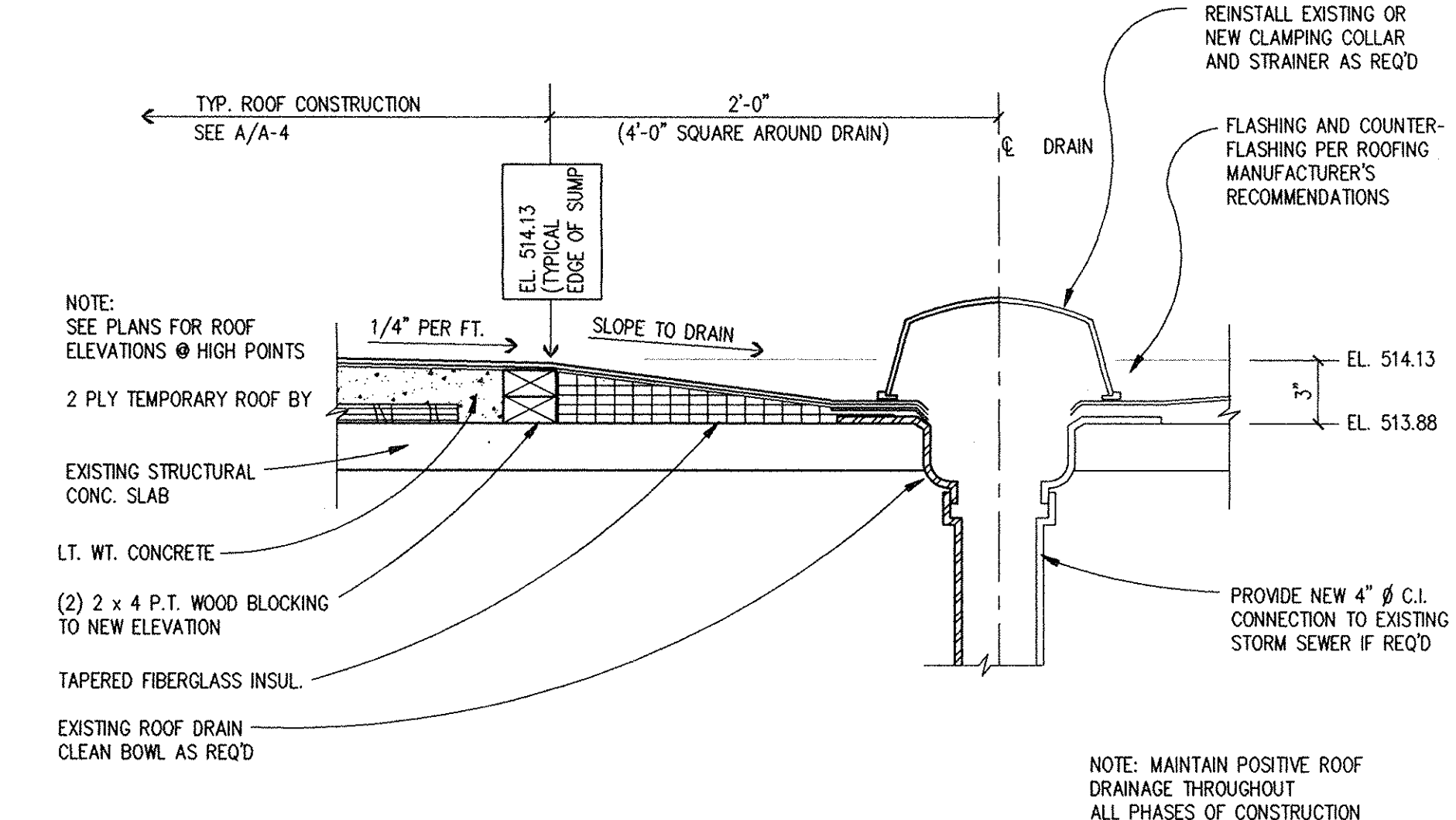
NEW EXPANSION JOINT DETAIL (B)
SCALE: 1 1/2" = 1'-0"



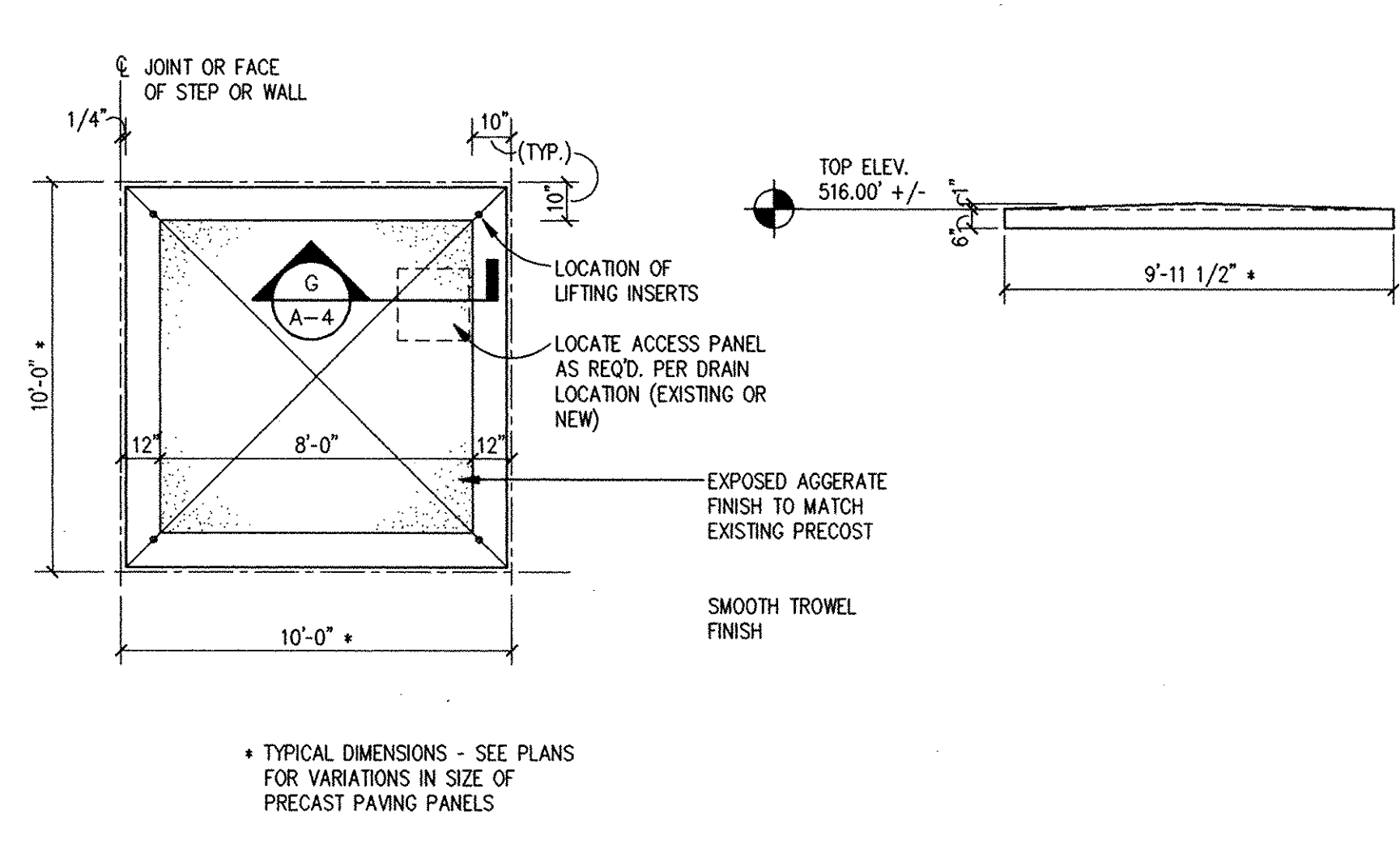
EXPANSION JOINT @ PROJECT LIMITS (C)
SCALE: 1 1/2" = 1'-0"



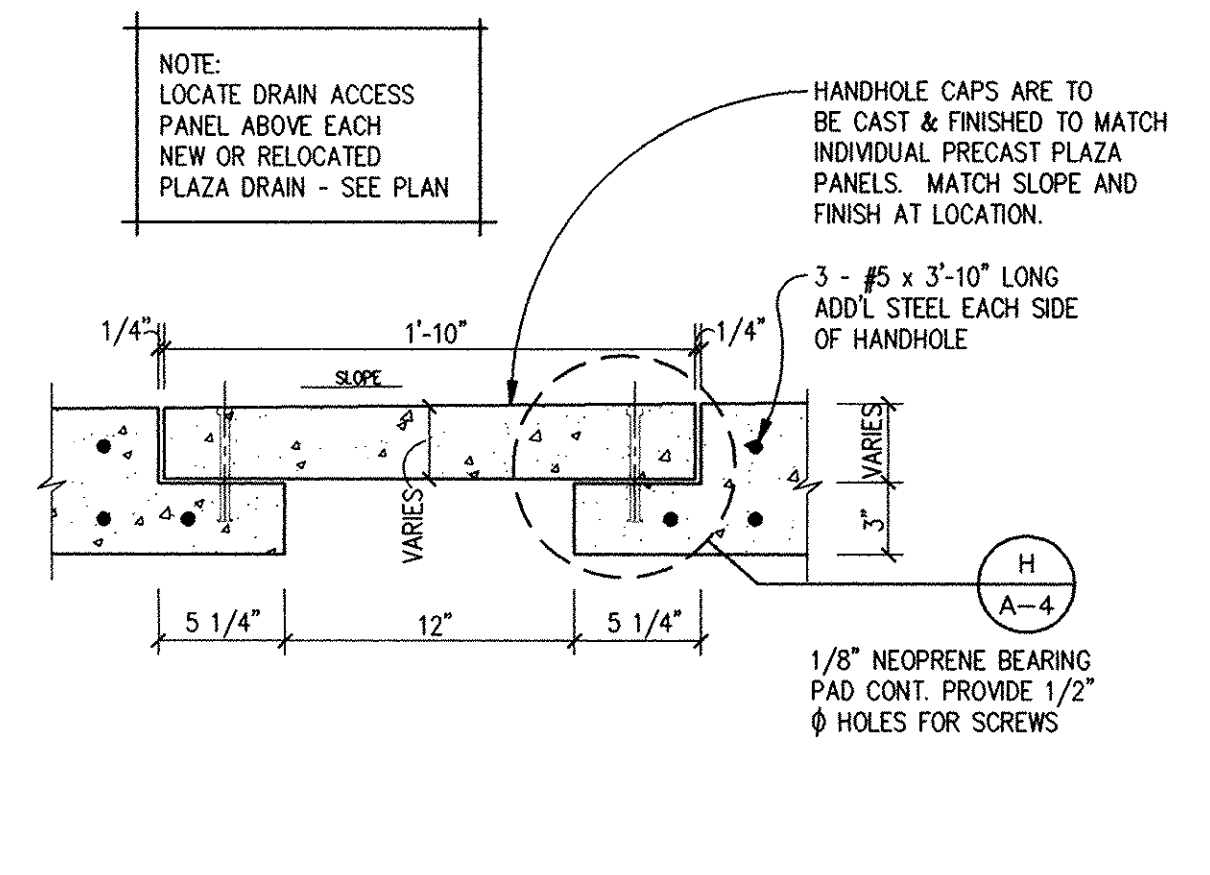
TYPICAL PERIMETER TERMINATION (D)
SCALE: 1 1/2" = 1'-0"



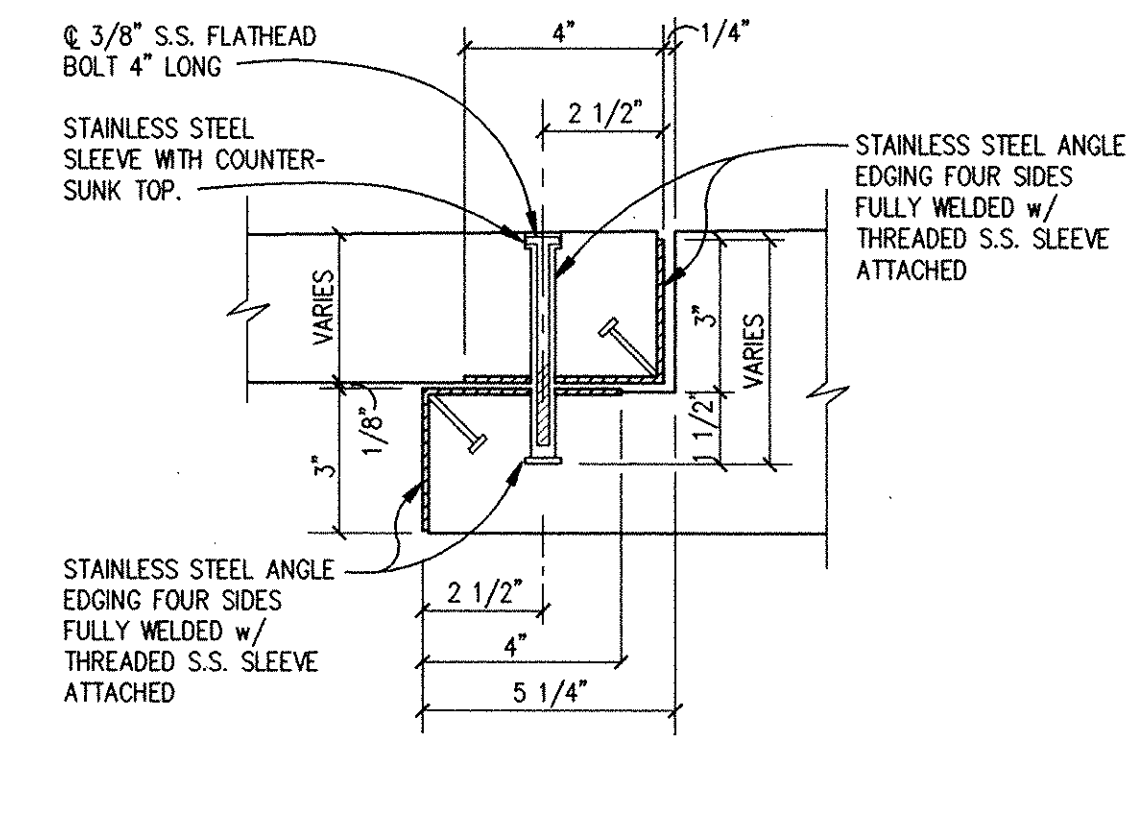
NEW OR EXISTING ROOF DRAIN (TYP.) (E)
SCALE: 1 1/2" = 1'-0"



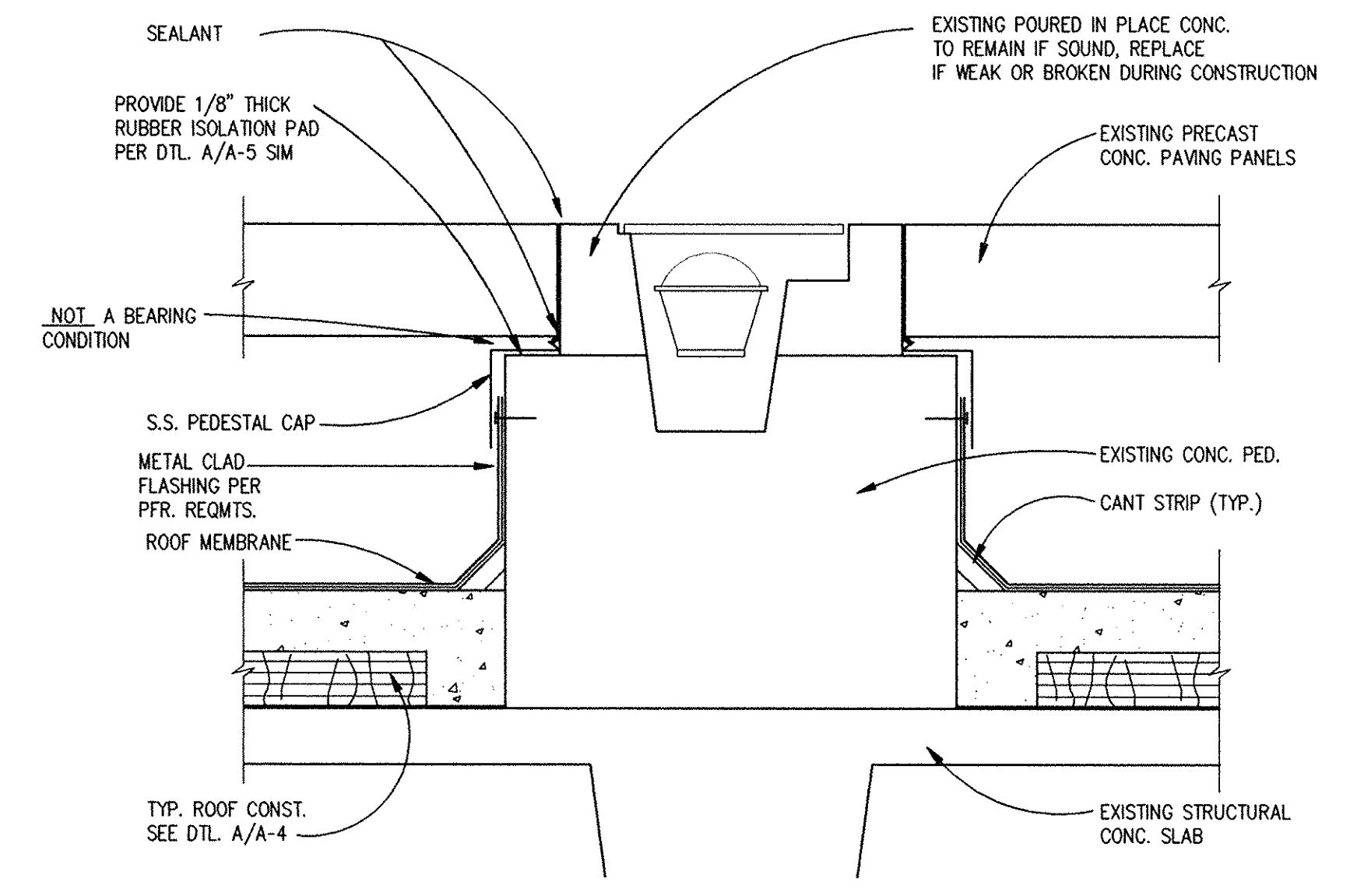
PRECAST CONCRETE PLAZA PANELS (F)
SCALE: 1/4" = 1'-0"



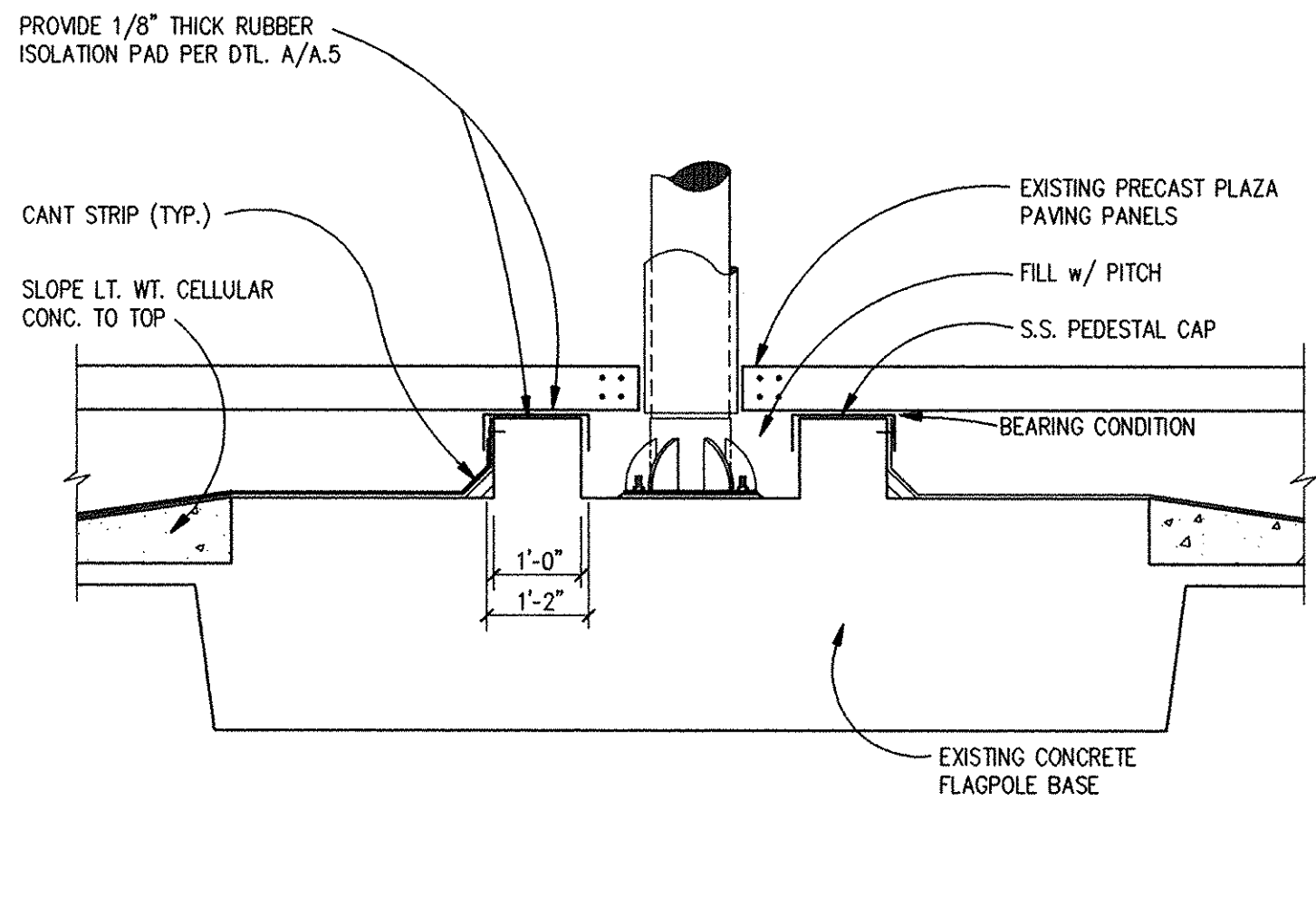
ROOF DRAIN ACCESS PANEL (G)
SCALE: 1 1/2" = 1'-0"



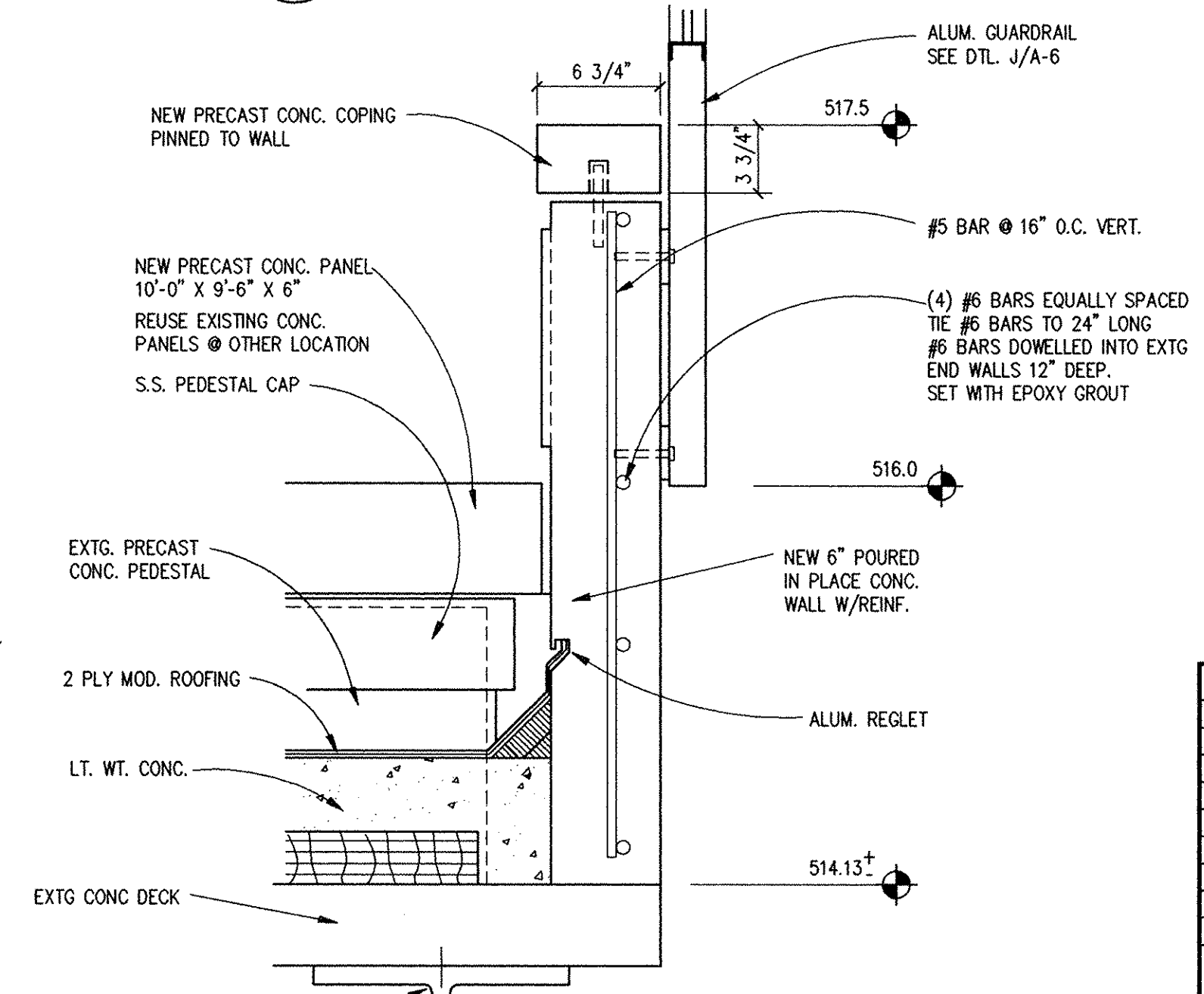
FASTENER DETAIL (H)
SCALE: 3" = 1'-0"



LIGHT FIXTURE DETAIL (I)
SCALE: 1 1/2" = 1'-0"



FLAGPOLE BASE (J)
SCALE: 1/2" = 1'-0"



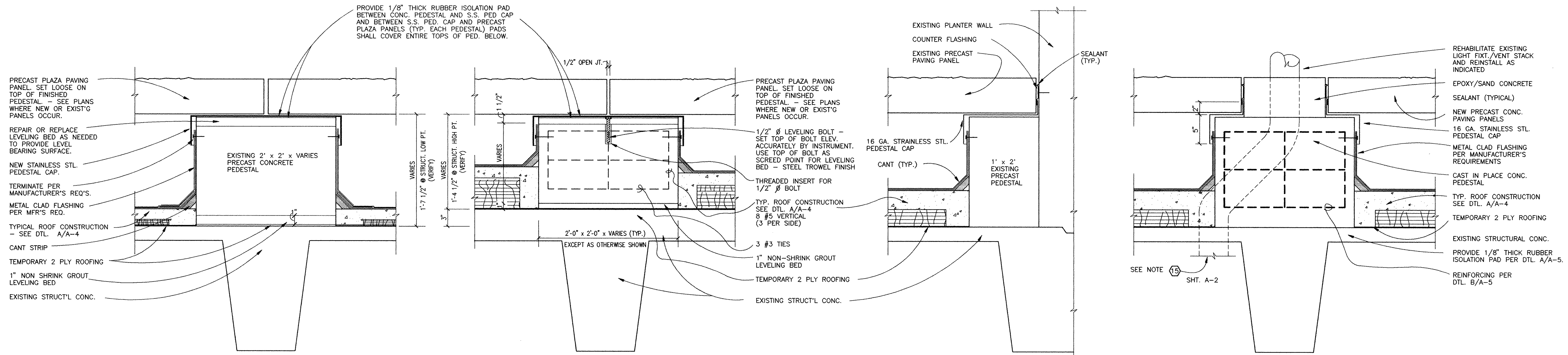
NEW TERMINATION WALL (K)
SCALE: 1/2" = 1'-0"

RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date 7-15-97

CHANGE ORDER #2
Perimeter reglet as indicated on original construction drawings of Capital Plaza was not installed in this area. Provide aluminum termination bar anchored to concrete wall and sealed along top edge as required by roofing manufacturer. Warranty as specified to include this termination method.

| REVISIONS | | DATE | CAPITAL PLAZA ROOF REPAIR - PHASE 2 FRANKFORT, KENTUCKY | |
|-----------|--|------|--|-------------|
| 1 | | | AS BUILT DATE | DRAWING NO. |
| 2 | | | | |
| 3 | | | | |
| 4 | | | | |
| 5 | | | | |
| 6 | | | | |
| 7 | | | | |
| 8 | | | | |
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| | | |
|--|---|--|
| DRAWN BY JEF, RMD CHECKED BY REM, JAR A & E FILE NO. 9514 DATE MARCH 1996 | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY 206 West Main Street Lexington, Kentucky 40507 Phone (606)254-4018 Fax (606)251-5046 | DRAWING NO. A-4 REVIEWED DIV. OF ENGR. ENGR. FILE NO. M-219-43 DATE 4/9/96 |
|--|---|--|

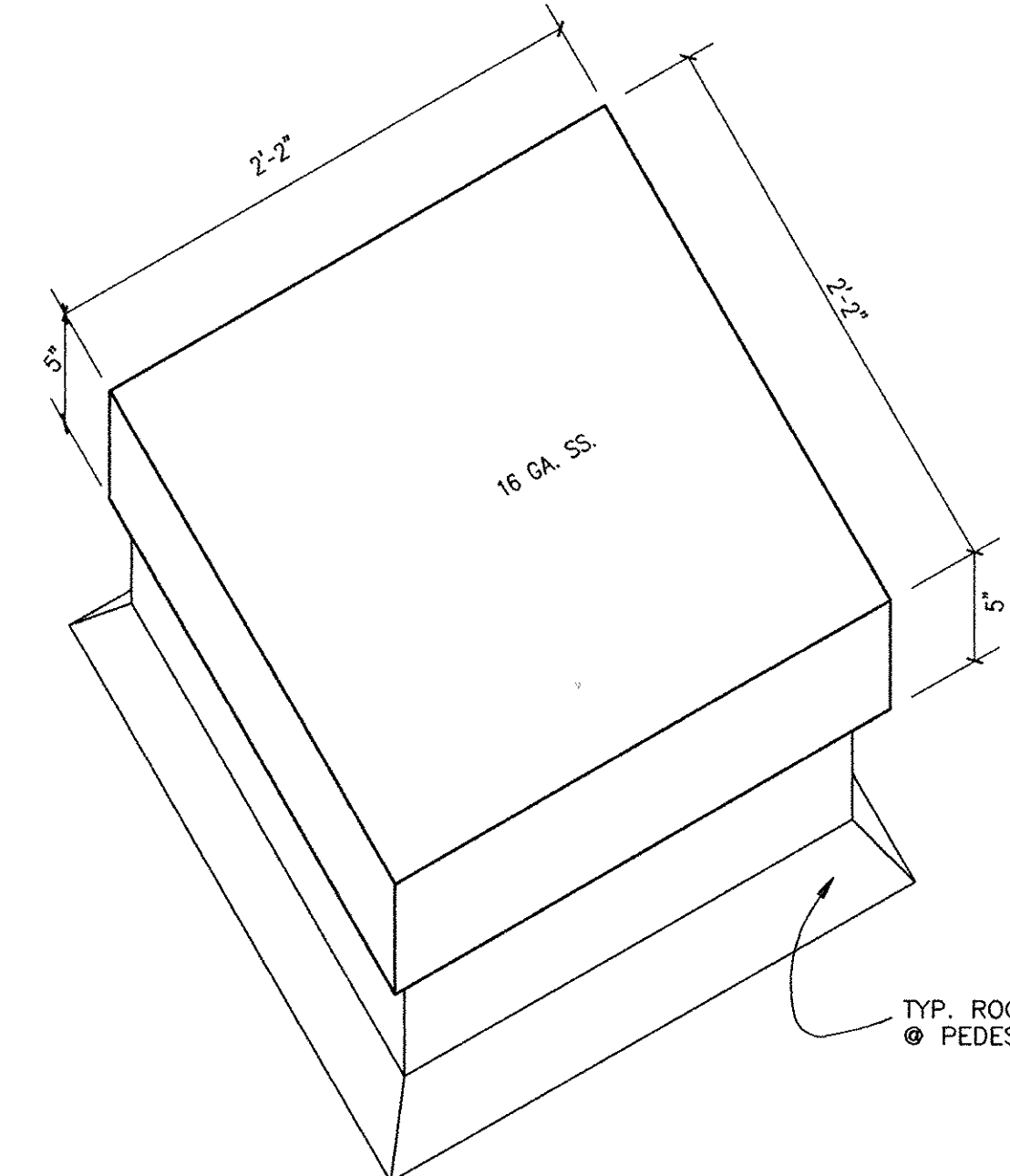


EXISTING PRECAST PEDESTAL DETAIL
SCALE: 1 1/2" = 1'-0"

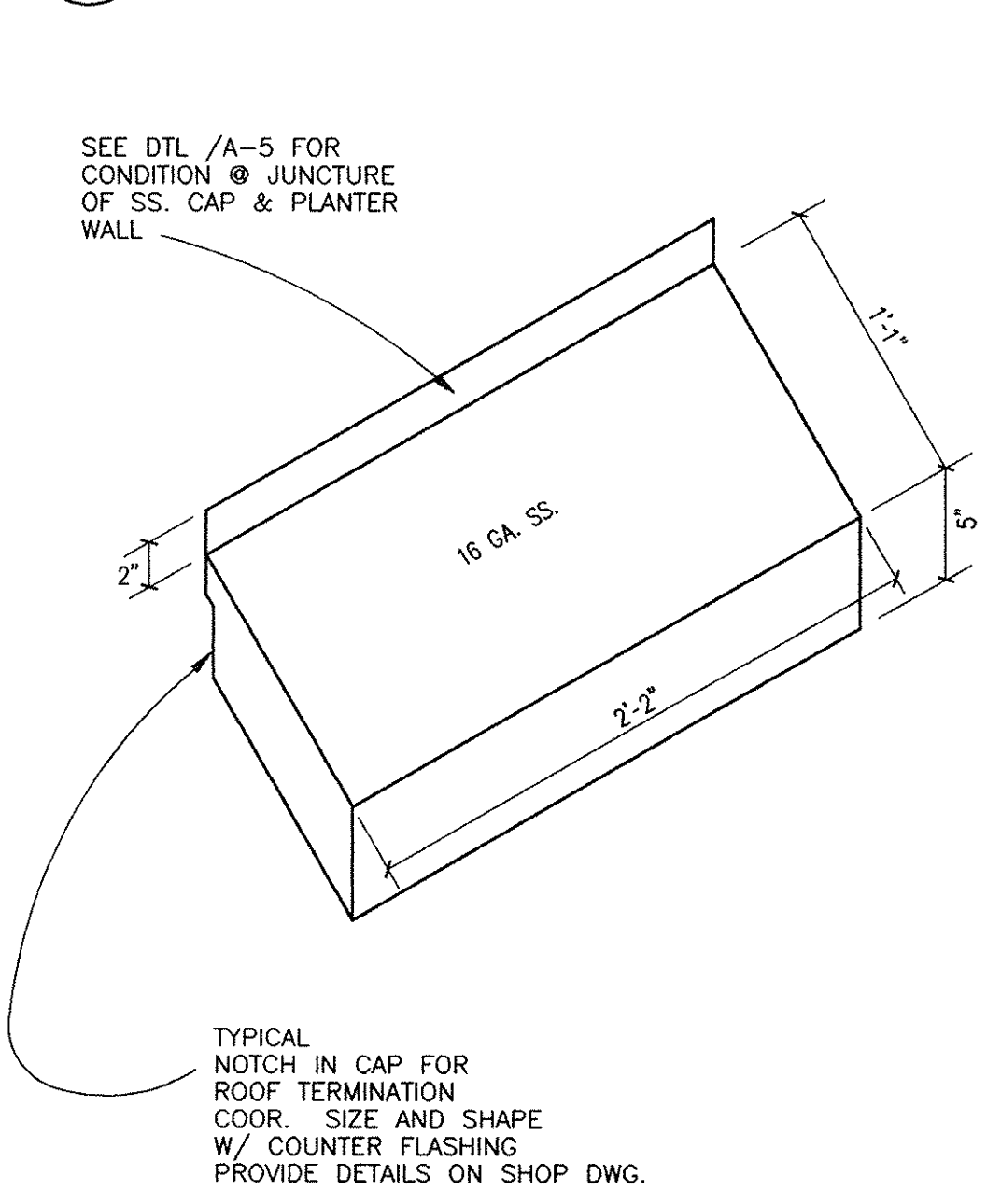
NEW PRECAST PEDESTAL DETAIL
SCALE: 1 1/2" = 1'-0"

TYPICAL PEDESTAL @ PERIMETER
SCALE: 1 1/2" = 1'-0"

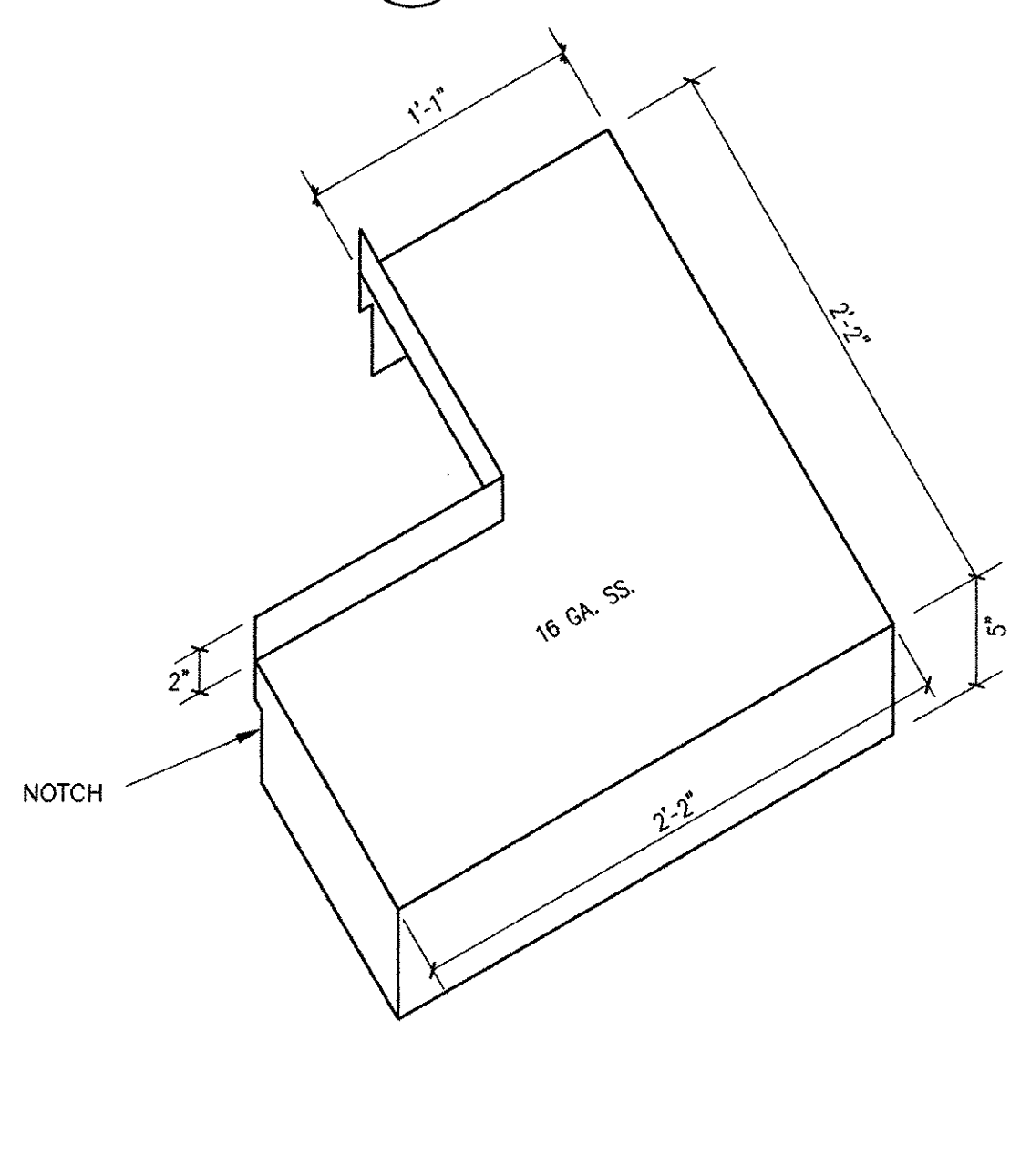
PEDESTAL @ LIGHT FIXTURE/ VENT STACK
SCALE: 1 1/2" = 1'-0"



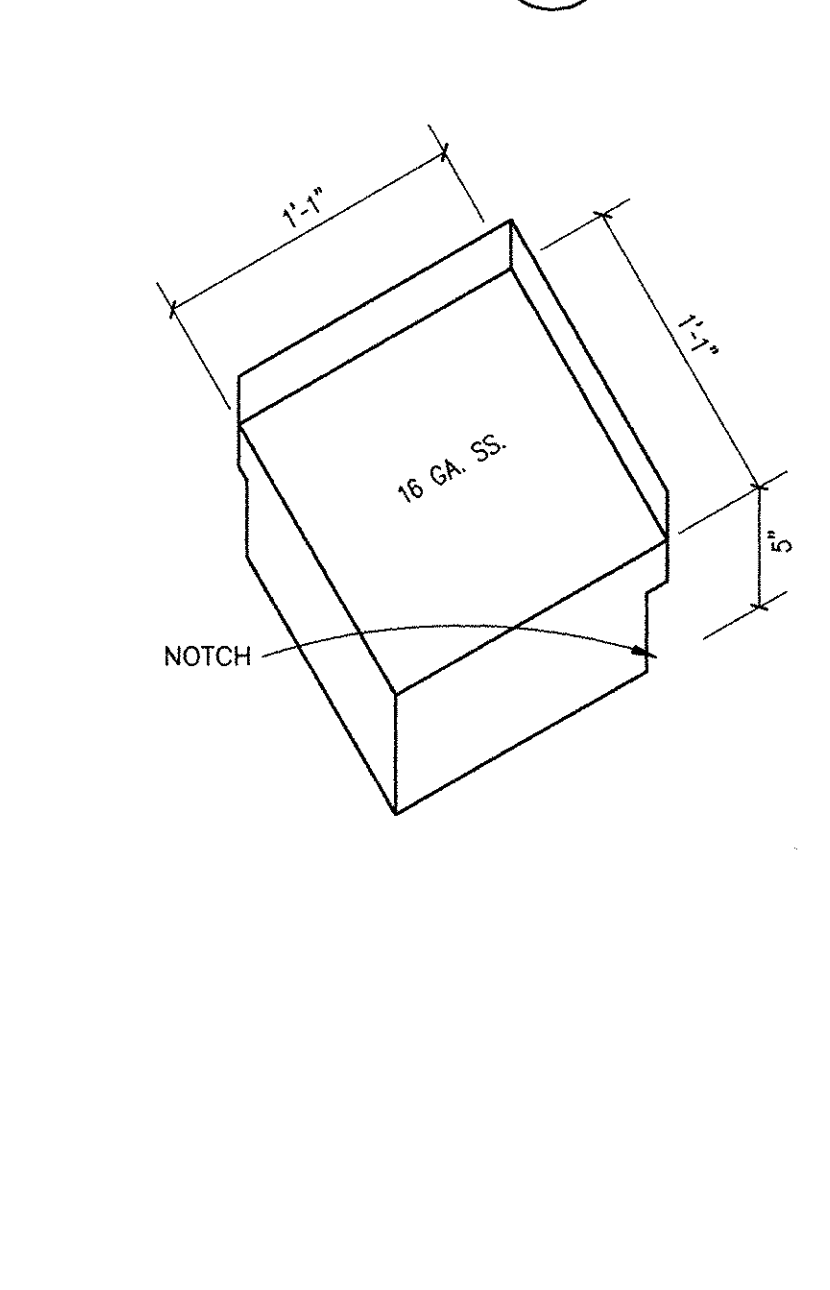
FULL S.S. CAP
SCALE: 1 1/2" = 1'-0"



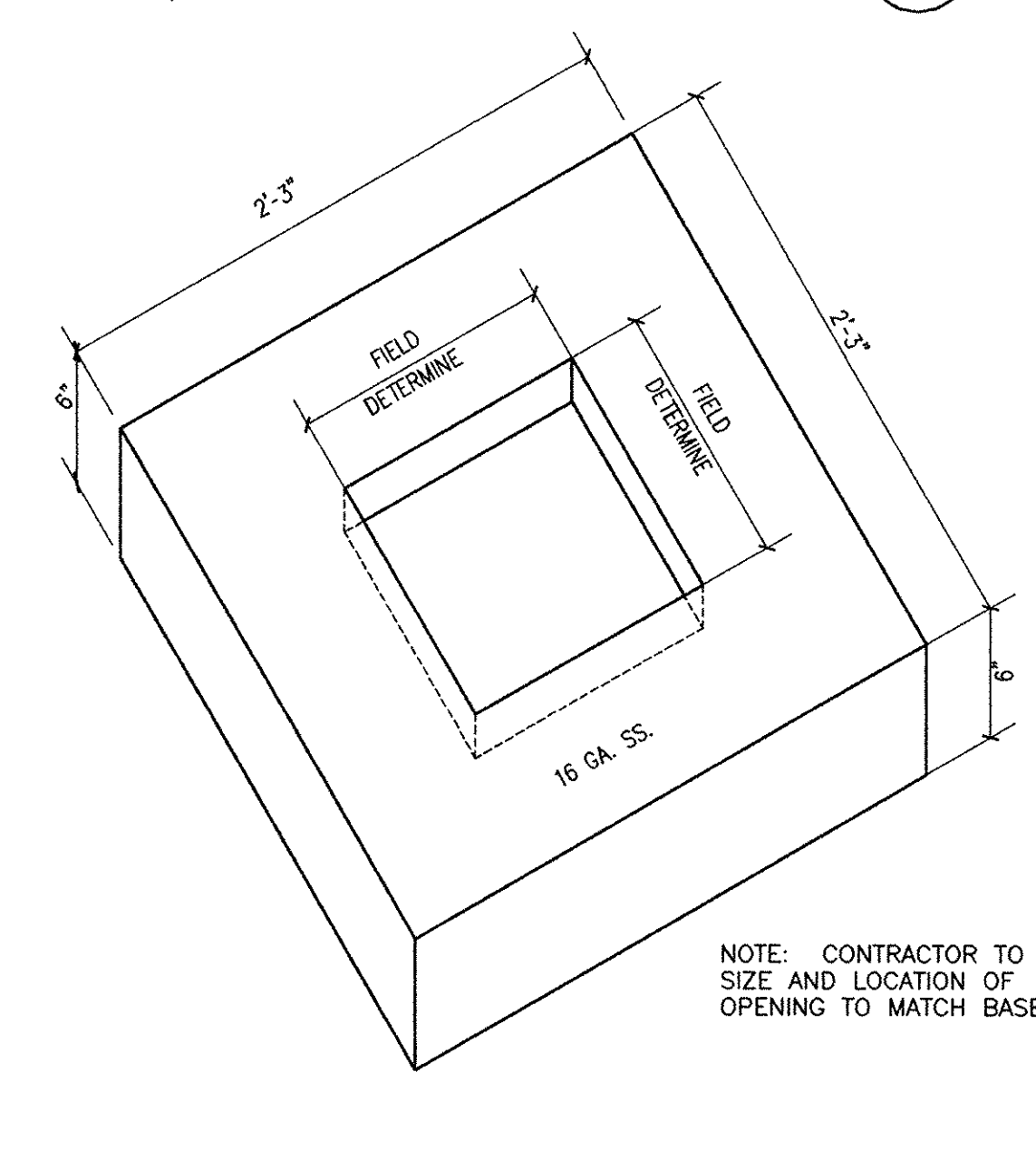
1/2 S.S. CAP
SCALE: 1 1/2" = 1'-0"



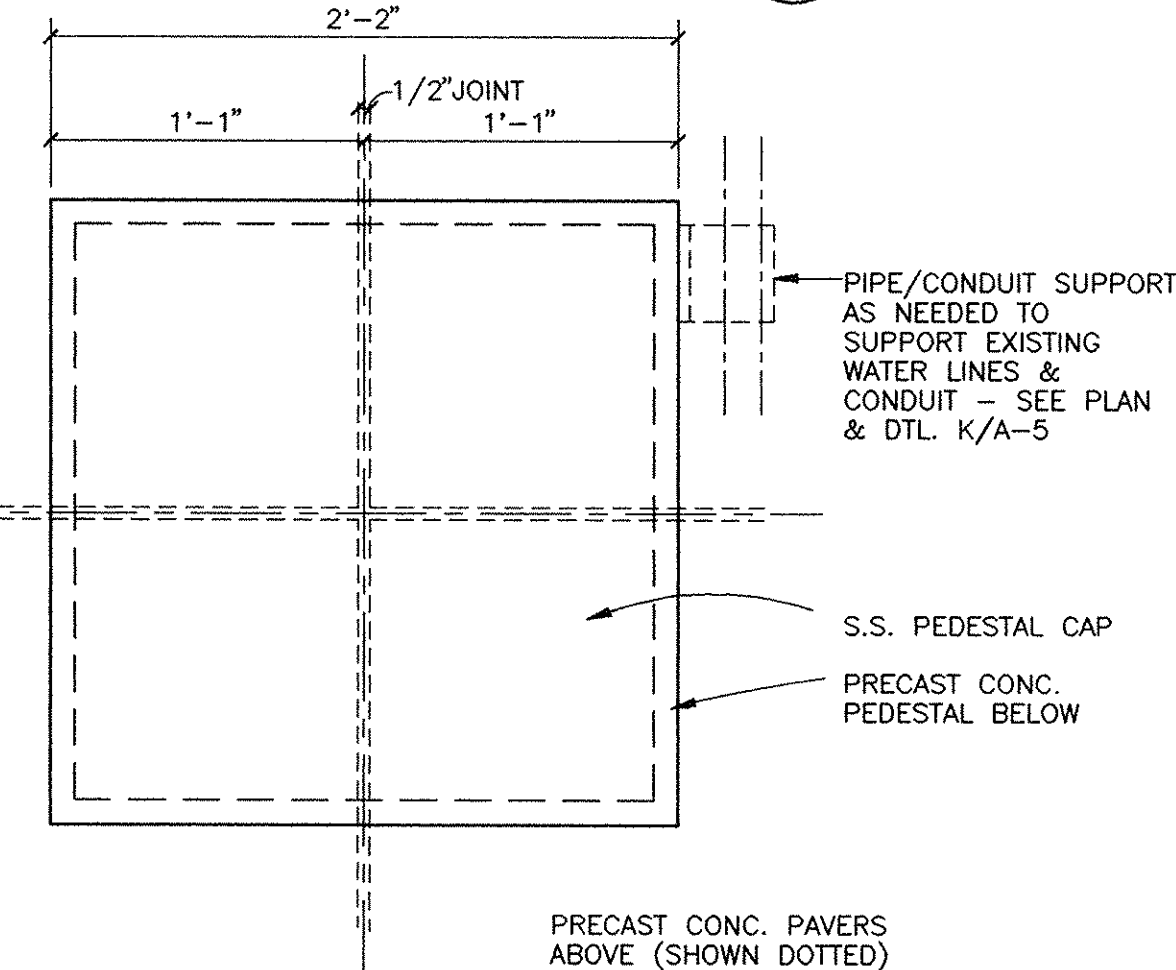
3/4 S.S. CAP
SCALE: 1 1/2" = 1'-0"



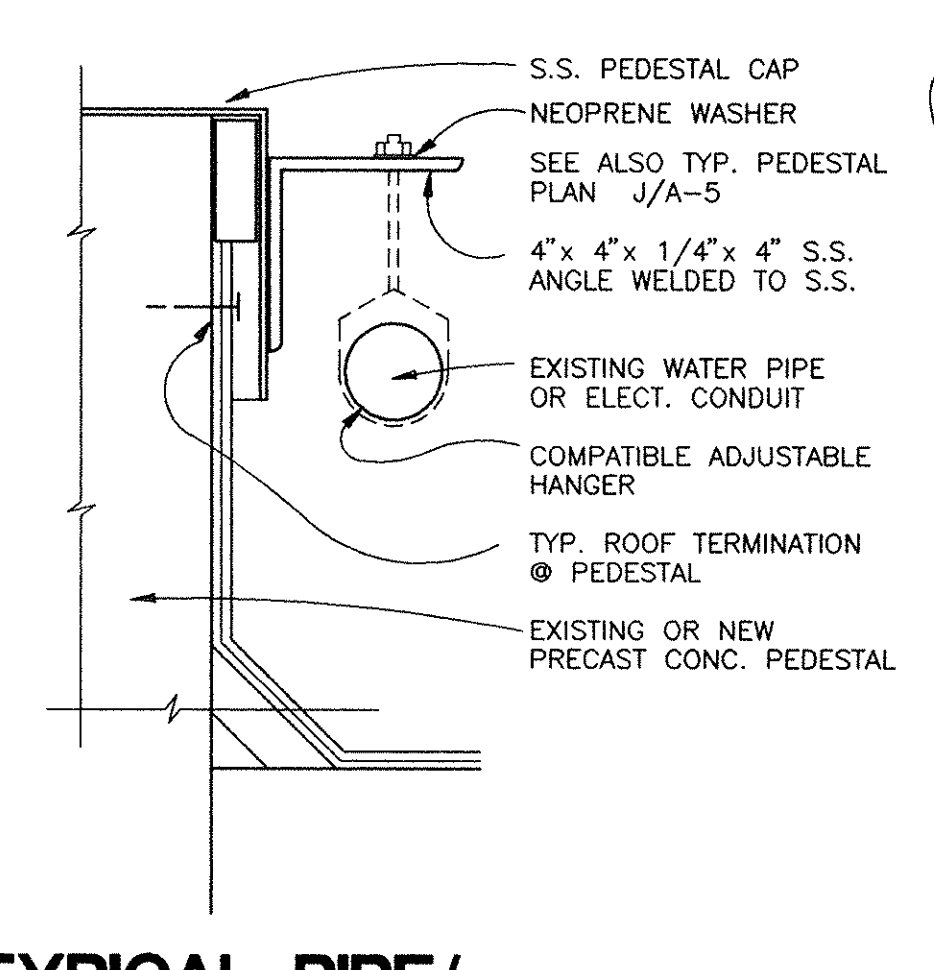
1/4 S.S. CAP
SCALE: 1 1/2" = 1'-0"



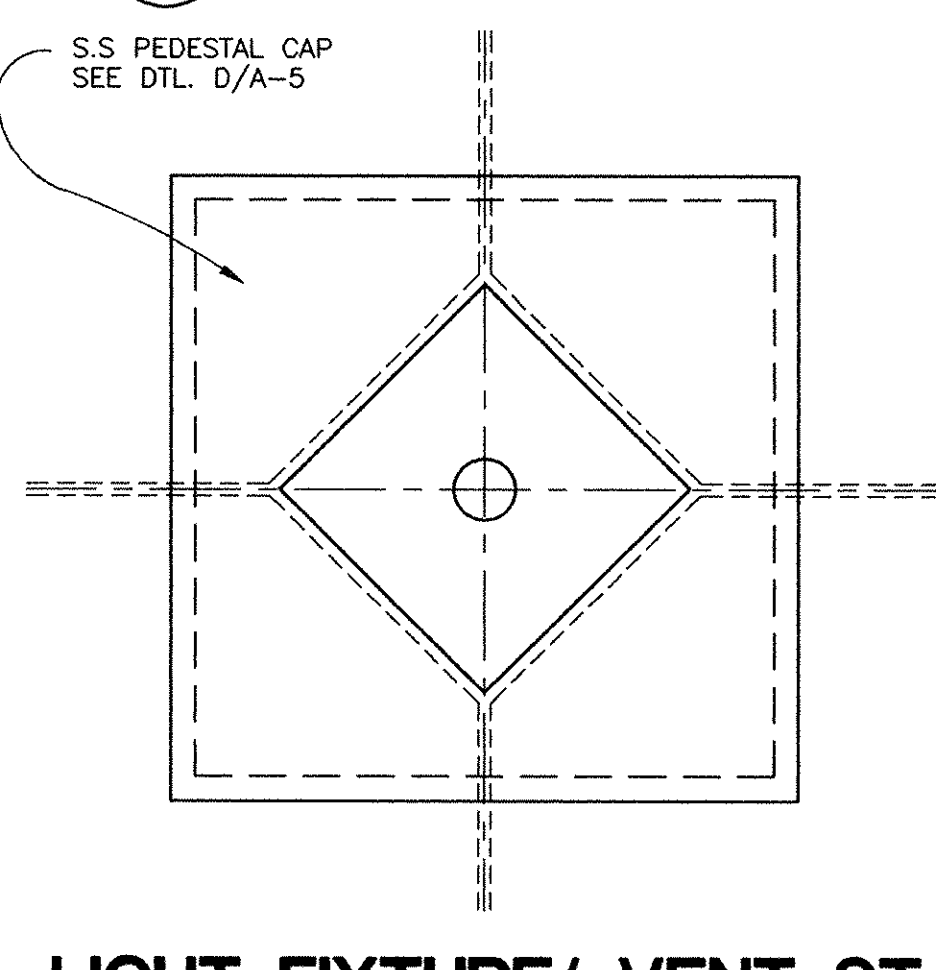
LIGHT BASE CAP
SCALE: 1 1/2" = 1'-0"



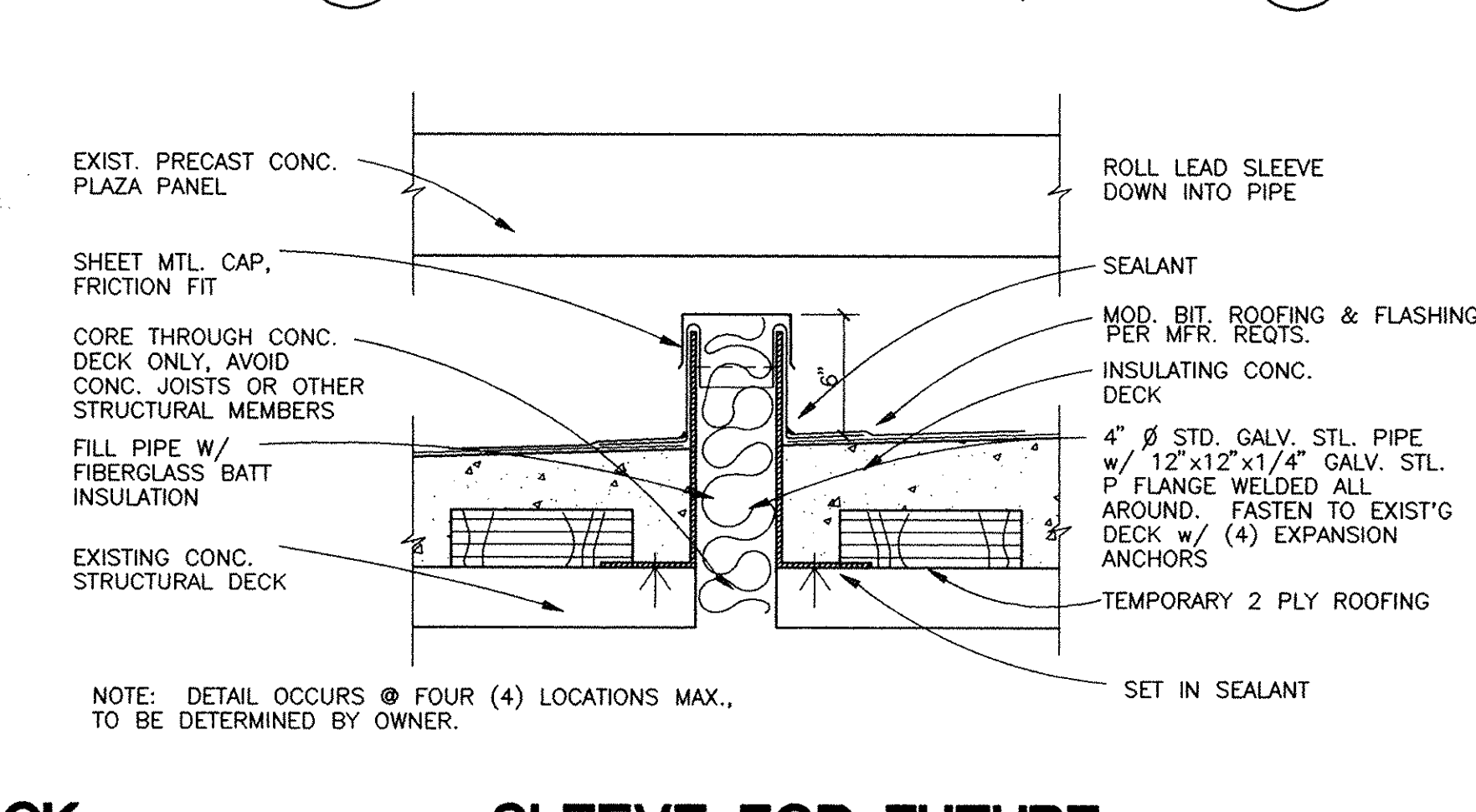
TYPICAL PEDESTAL PLAN
SCALE: " = 1'-0"



TYPICAL PIPE/ CONDUIT HANGER
SCALE: " = 1'-0"



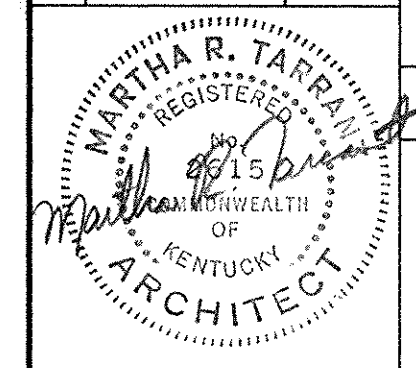
LIGHT FIXTURE/ VENT STACK PEDESTAL PLAN
SCALE: " = 1'-0"

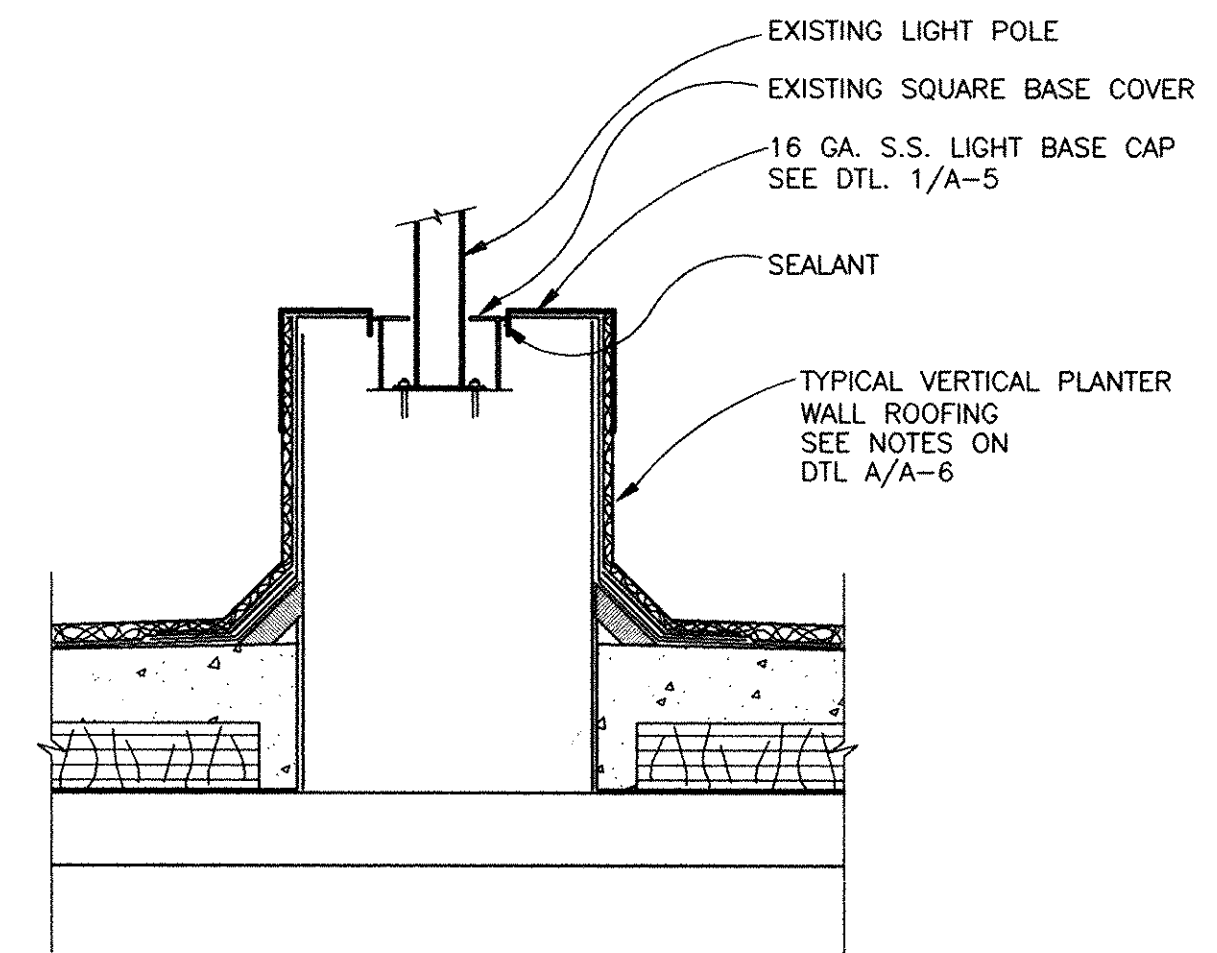
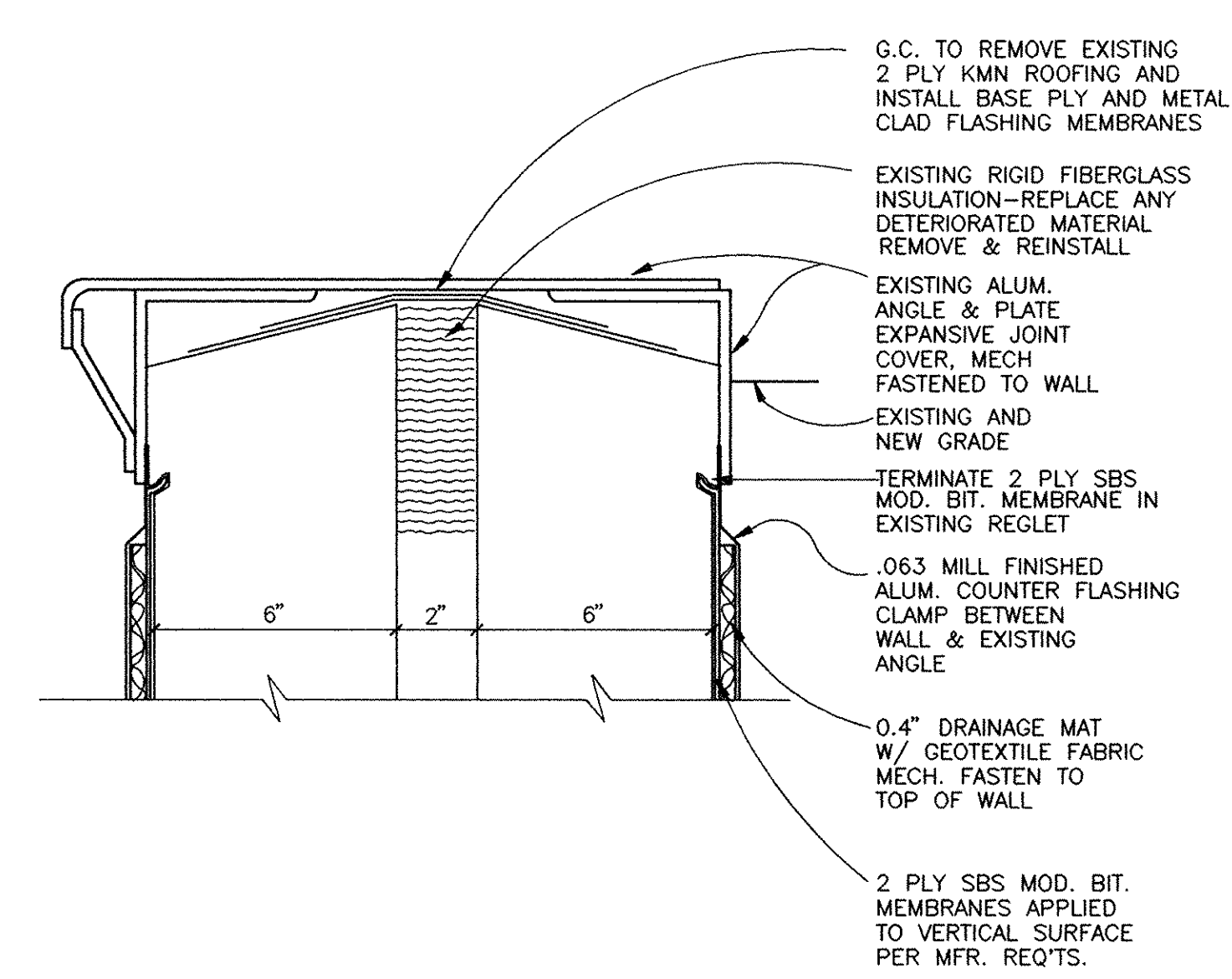
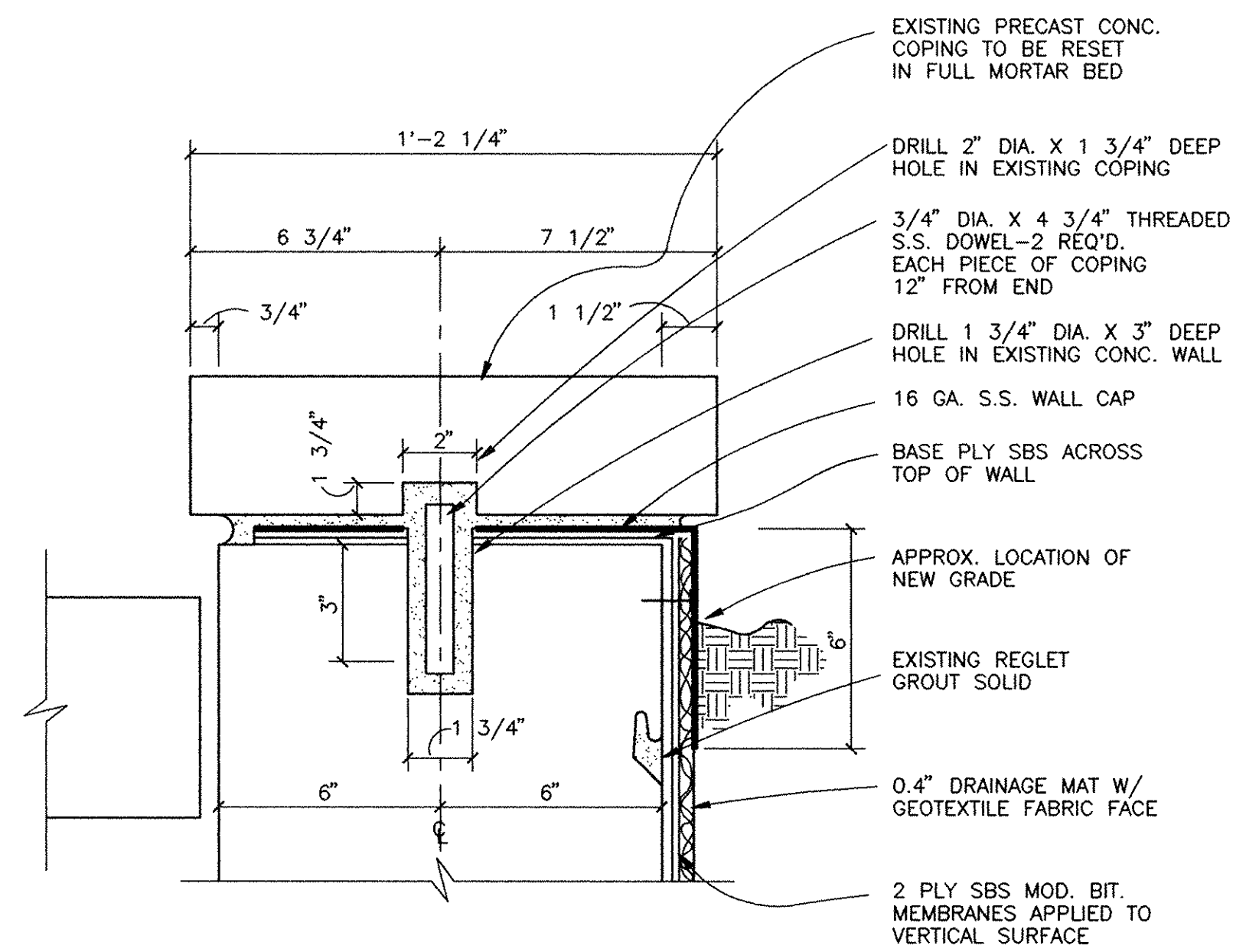
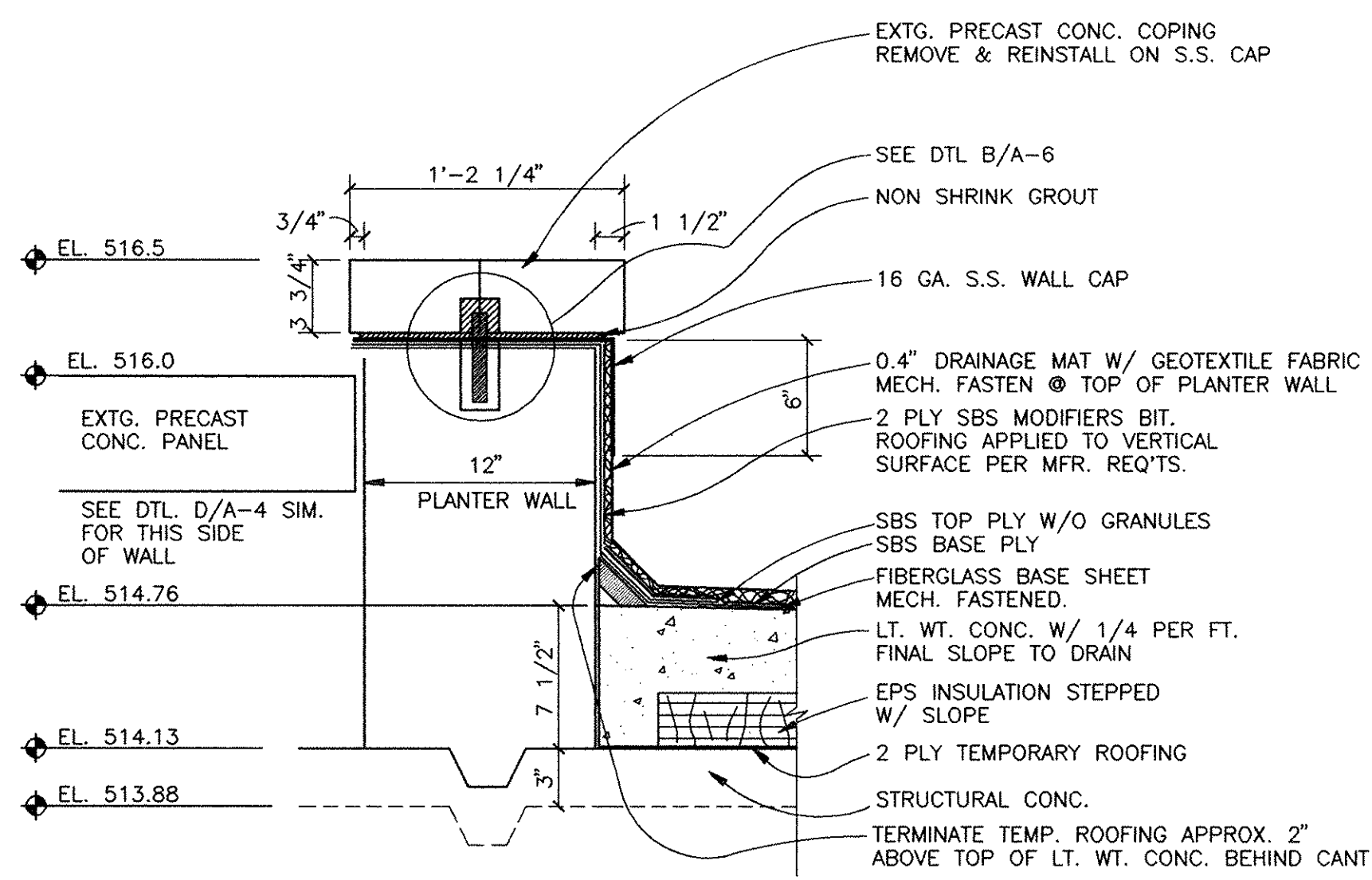


SLEEVE FOR FUTURE ELECTRICAL CONDUIT
SCALE: 1 1/2" = 1'-0"

RECORD DRAWINGS
These record drawings reflect approved changes made during construction. Date 7-15-97.

| REVISIONS | | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | |
|-----------|--|------|--|--|
| 1 | | | DETAILS | |
| 2 | | | DRAWING NO. A-5 | |
| 3 | | | REVIEWED DIV. OF ENGR. | |
| 4 | | | ENGR. FILE NO. M-219-43 | |
| 5 | | | AS BUILT DATE | |
| 6 | | | DRAWN BY JEF, RMD | |
| 7 | | | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY | |
| 8 | | | CHECKED BY REM, JAR | |
| 9 | | | A & E FILE NO. 9514 | |
| | | | DATE MARCH 1996 | |
| | | | AGENCY AUTHORIZED AGENT | |
| | | | APPROVED FOR PROGRAM CONCEPT ONLY | |
| | | | DATE 4/9/96 | |
| | | | DIVISION OF ENGINEERING | |



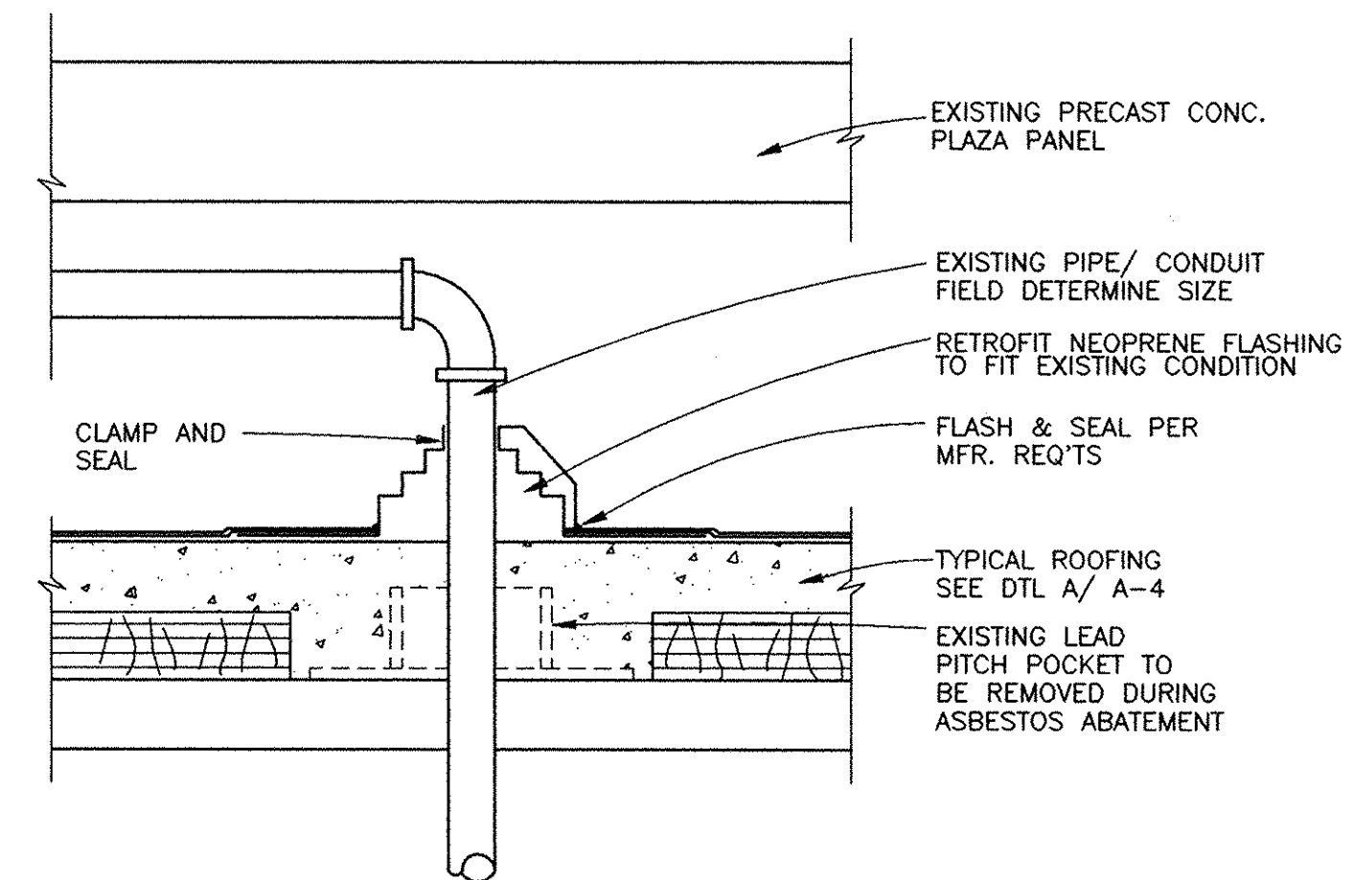
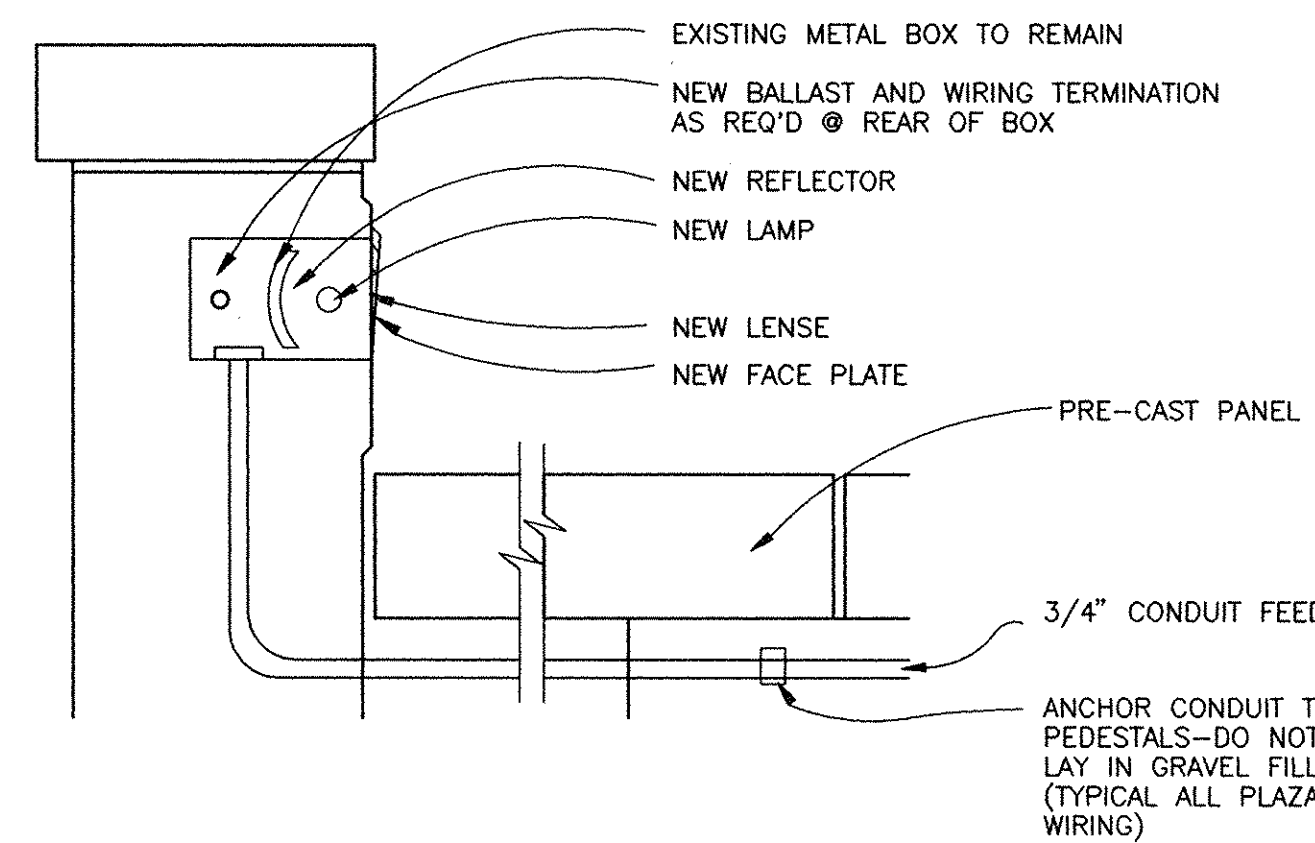
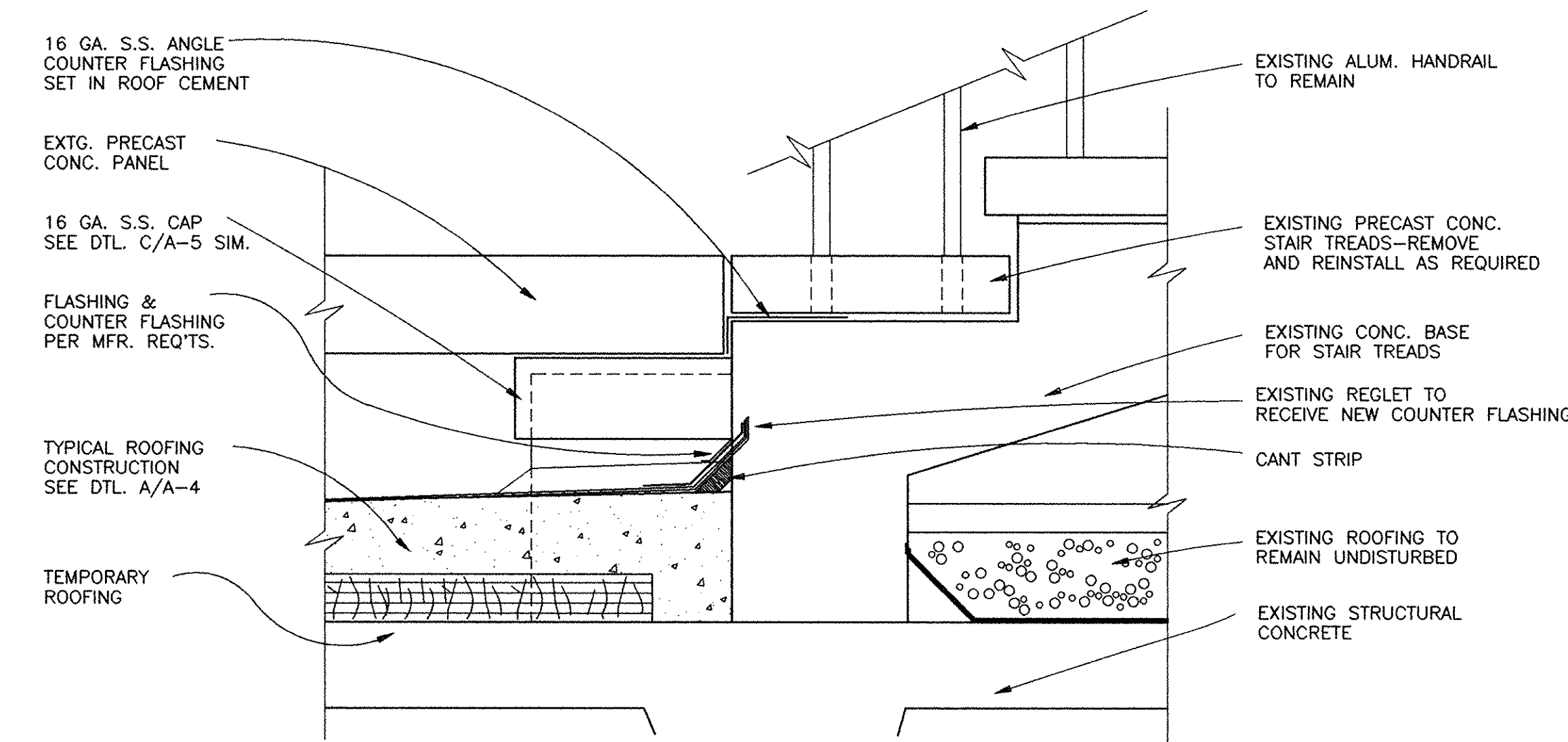


TYPICAL PLANTER WALL ROOFING A
 SCALE: 1 1/2" = 1'-0" A-6

PLANTER WALL COPING DETAIL B
 SCALE: 1 1/2" = 1'-0" A-6

PLANTER EXPANSION JOINT C
 SCALE: 3" = 1'-0" A-6

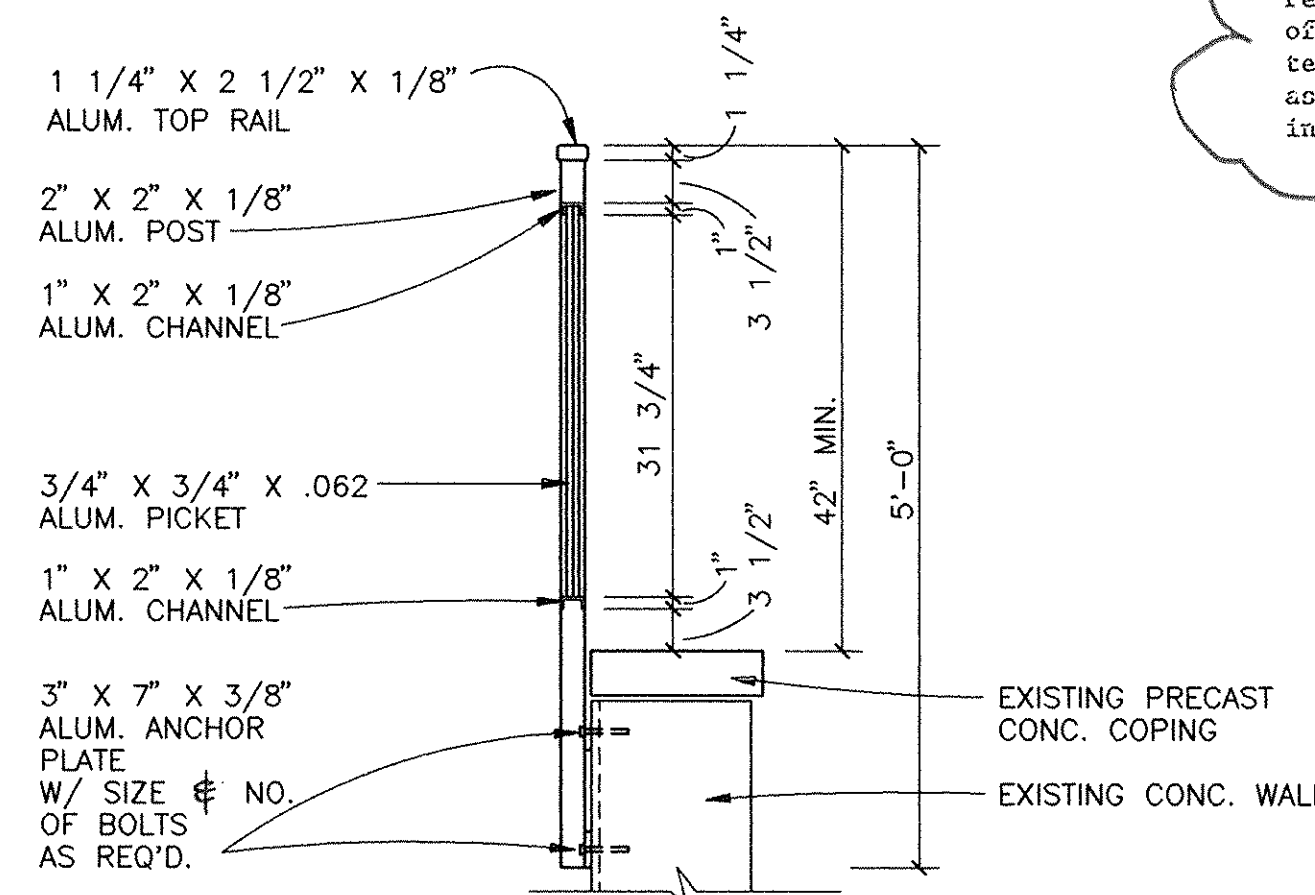
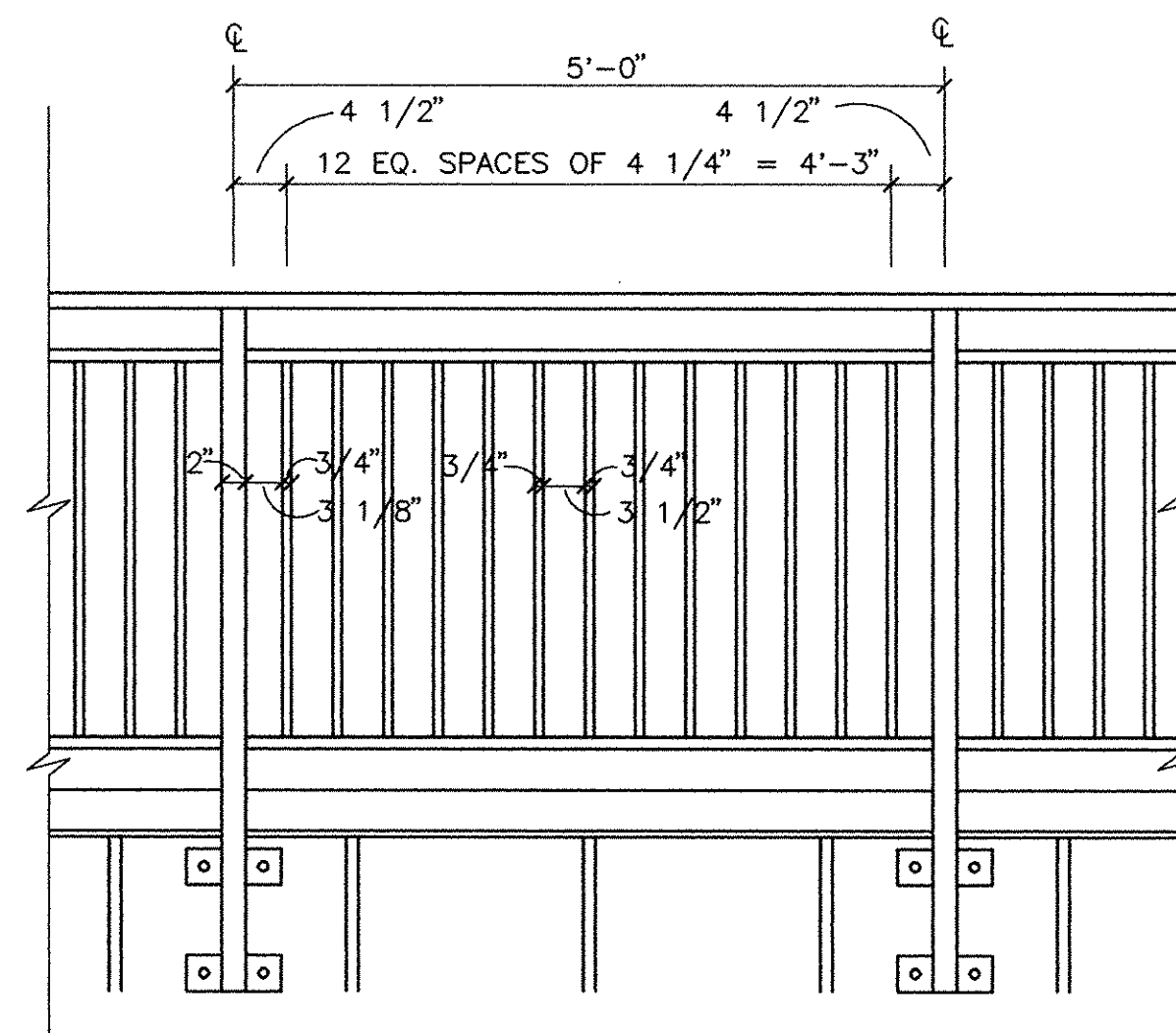
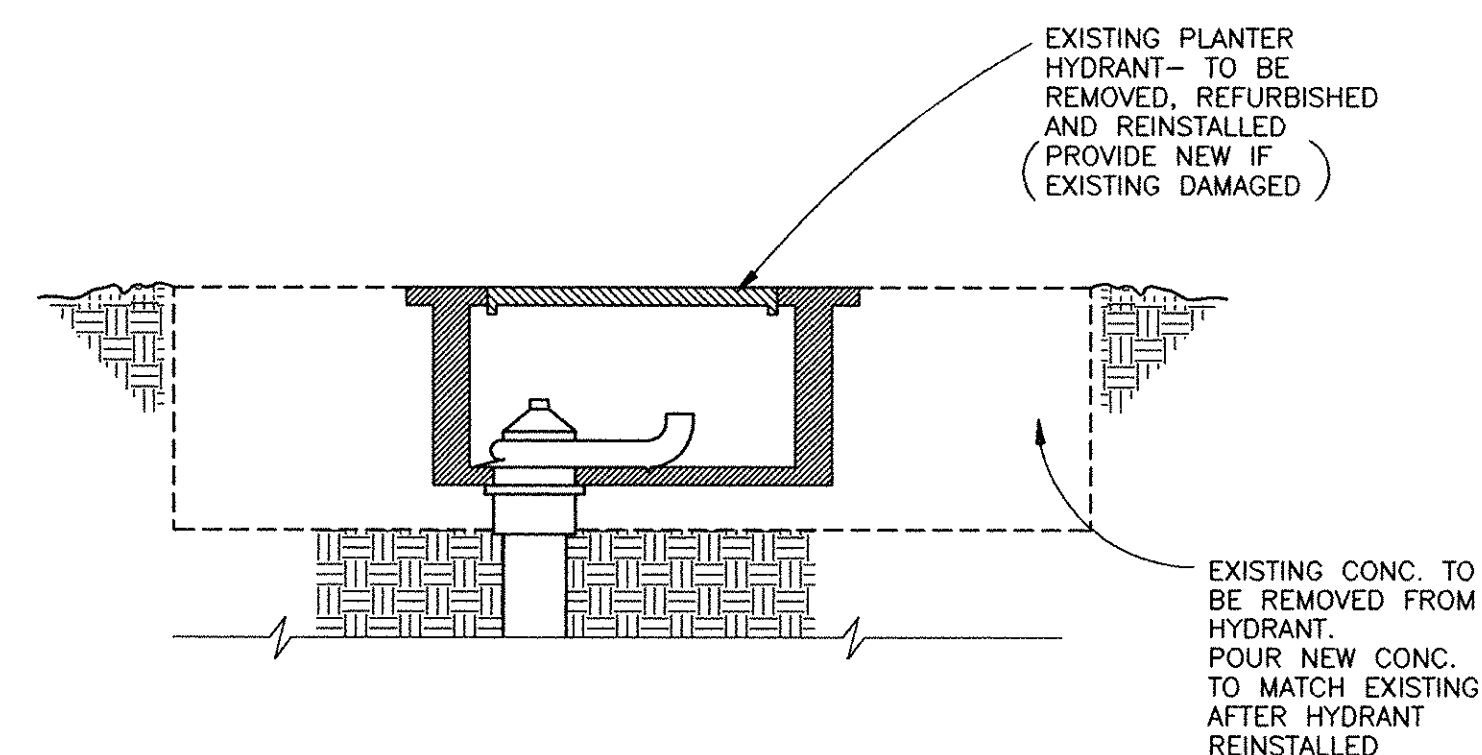
PLANTER LIGHT POLE BASE D
 SCALE: 1 1/2" = 1'-0" A-6



PERIMETER TERMINATION @ STAIRS E
 SCALE: 1 1/2" = 1'-0" A-6

WALL LIGHT FIXTURE F
 SCALE: 1 1/2" = 1'-0" A-6

PIPING THRU ROOFING DETAIL G
 SCALE: 1 1/2" = 1'-0" A-6



CHANGE ORDER #2
 Perimeter reglet as indicated on original construction drawings of Capital Plaza was not installed in this area. Provide aluminum termination bar anchored to concrete wall and sealed along top edge as required by roofing manufacturer. Warranty as specified to include this termination method.

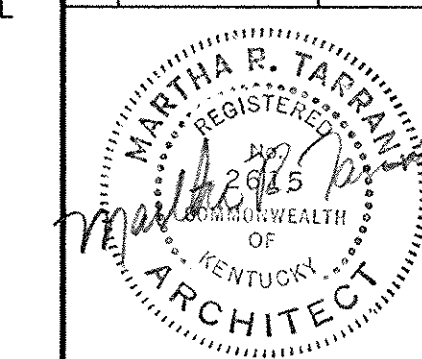
RECORD DRAWINGS
 These record drawings reflect approved changes made during construction. Date 7-15-97.

PLANTER HYDRANT DETAIL H
 NOT TO SCALE A-6

ALUMINUM GUARD RAIL I
 SCALE: 3/4" = 1'-0" A-6

GUARD RAIL SECTION J
 SCALE: 3/4" = 1'-0" A-6

| REVISIONS | | DATE | CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY | | DRAWING NO. |
|-----------|--|------|--|--|-------------|
| 1 | | | DETAILS | | A-6 |
| 2 | | | AS BUILT DATE | | |
| 3 | | | DRAWN BY | COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY | |
| 4 | | | CHECKED BY | | |
| 5 | | | A & E FILE NO. | 9514 | |
| 6 | | | DATE | MARCH 1996 | |
| 7 | | | AGENCY | APPROVED FOR PROGRAM CONCEPT ONLY | |
| 8 | | | AUTHORIZED AGENT | DATE | |
| 9 | | | DIVISION OF ENGINEERING | APPROVED FOR PROGRAM CONCEPT ONLY | |



APPROVED FOR PROGRAM CONCEPT ONLY
 DATE 4/9/96

CFM 1.8