

# CAPITAL PLAZA ROOF AND PLANTER REPAIR

FOR THE:  
COMMONWEALTH OF KENTUCKY  
FRANKFORT, KENTUCKY

RTA # 0222

FINANCE AND ADMINISTRATION CABINET  
DEPARTMENT FOR FACILITIES MANAGEMENT  
DIVISION OF ENGINEERING  
ENGINEERING FILE NO. FPCP0060

ARCHITECTS:

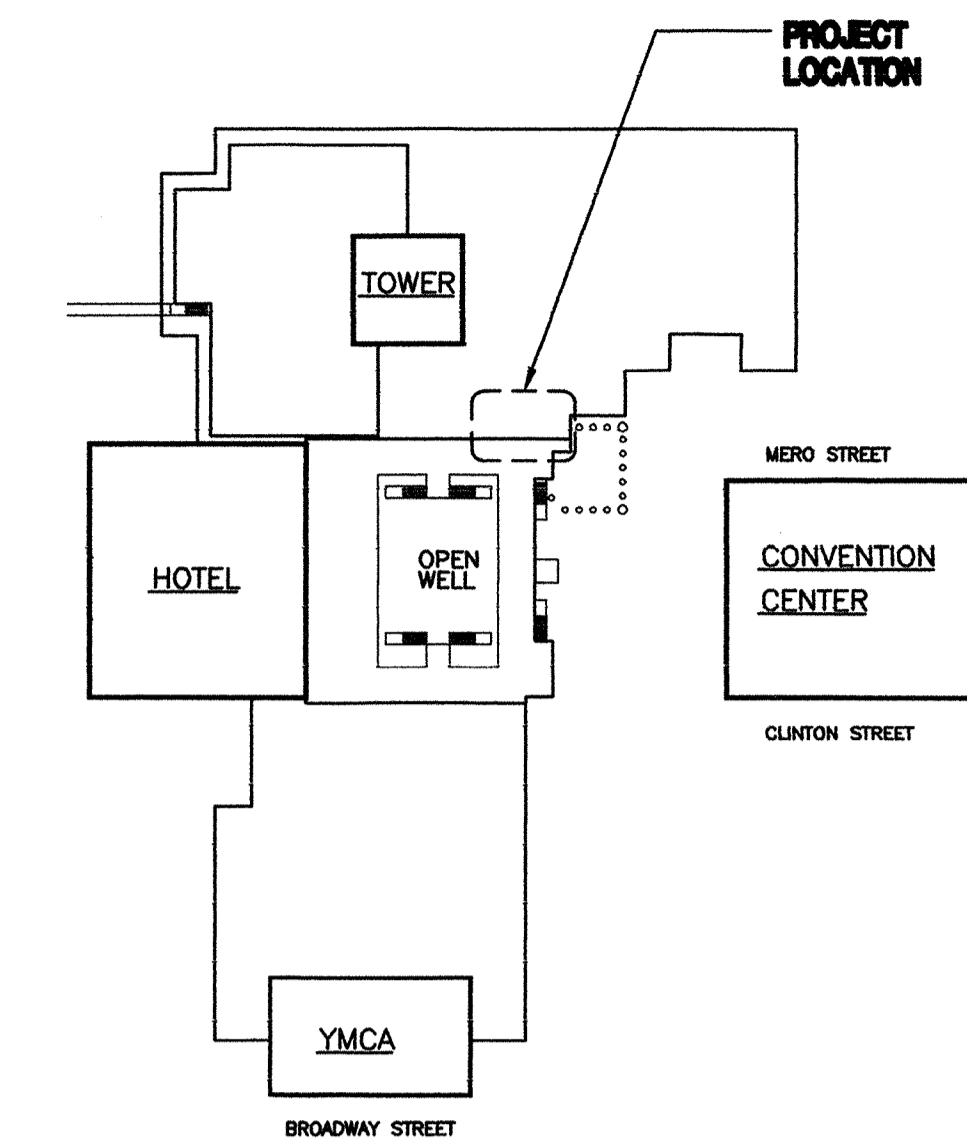
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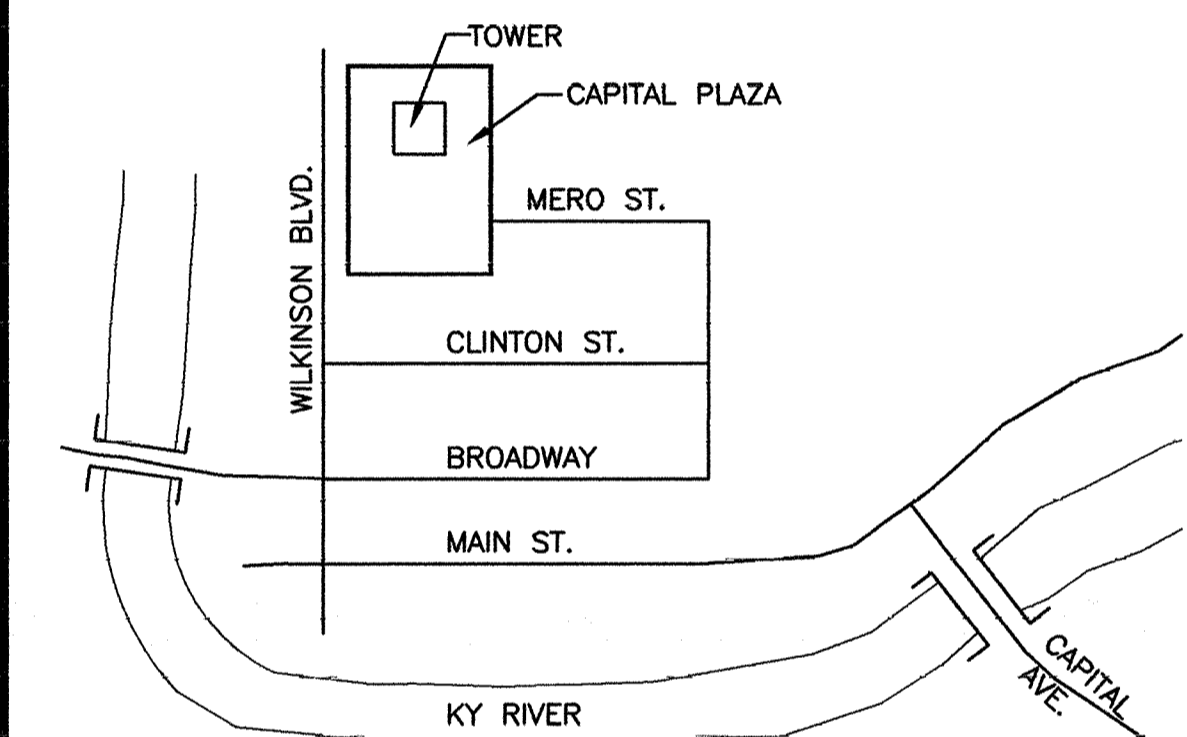
## INDEX OF DRAWINGS:

AD-1 DEMOLITION PLAN  
A-1 PARTIAL ROOF PLAN & DETAILS



**KEYPLAN**  
NOT TO SCALE

## VICINITY MAP:



## SET NUMBER

NOVEMBER 2002

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COVER SHEET  
CAPITAL PLAZA ROOF REPAIR  
FRANKFORT, KENTUCKY

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ENGINEERING FILE NO.  
FPCP0060

Date: 11/8/02  
Project: RTA #  
CAD File: 0222-COV-RTA  
Drawn By: JB  
Rev'd By:

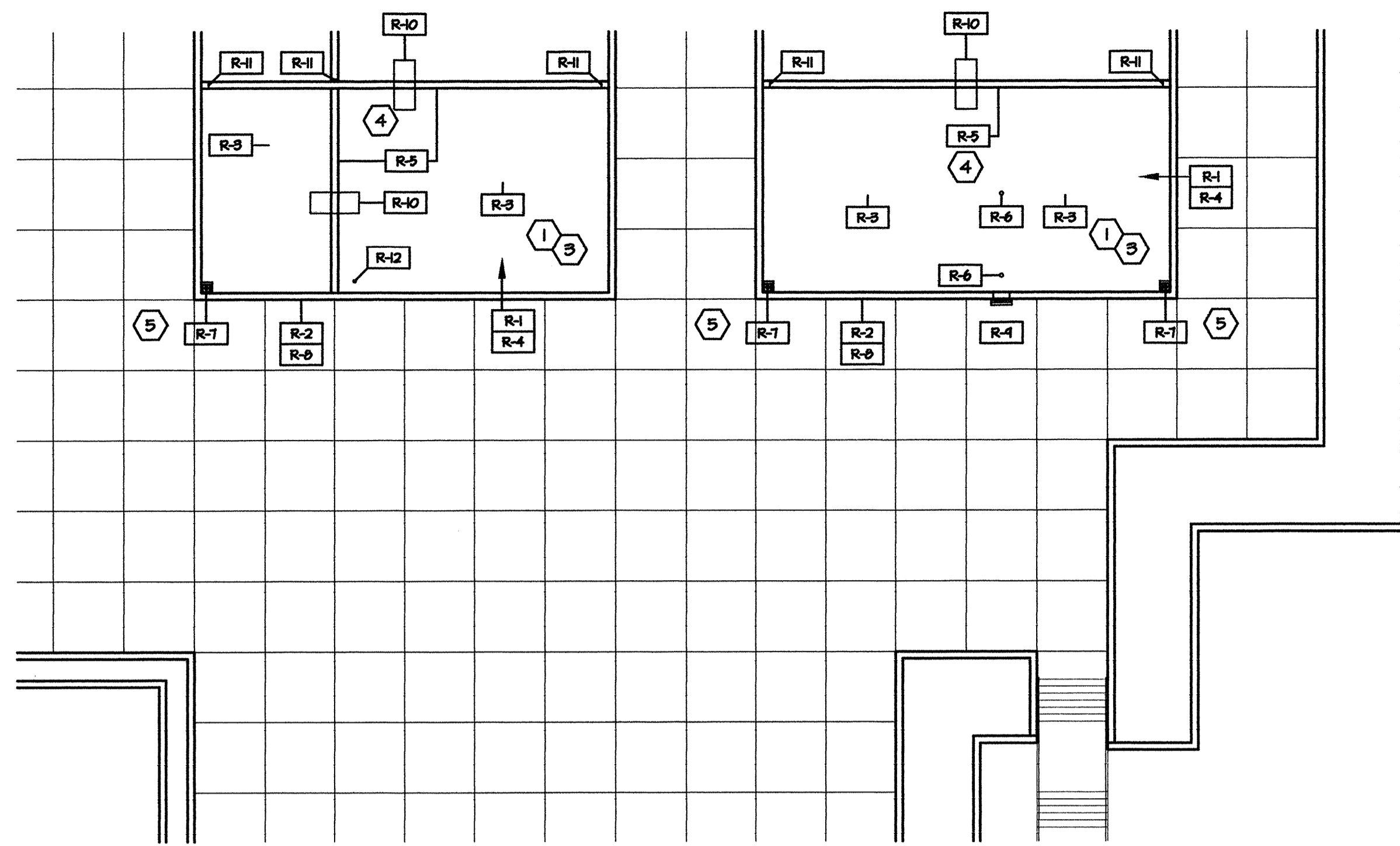
Revisions	
1	
2	
3	

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**COV**

COVER SHEET  
DATE ISSUED:  
11/8/02

CPA-889



**DEMOLITION PLAN**  
SCALE: 1/16"=1'-0"

A  
AD-1

**DEMOLITION NOTES**

**ROOF DEMOLITION NOTES**

- [R-1] REMOVE EXISTING SOIL FROM PLANTER AND DISPOSE OF OFF-SITE OR STOCKPILE OFF-SITE FOR REPLACEMENT AFTER NEW ROOFING AND DRAINAGE SYSTEM INSTALLED. SEE DETAIL D/A-1.
- NOTE: GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY MATERIAL CONTAMINATED THROUGH THE PROCESS OF SOIL REMOVAL.
- [R-2] EXISTING PRE-CAST CONCRETE CAP OF PLANTER HALL TO BE REMOVED AND STORED FOR RE-INSTALLATION. SEE DETAIL C/A-1.
- [R-3] REMOVE EXISTING TREES AND SHRUBS FROM PLANTER, INCLUDING ALL ROOTS, AND DISCARD. NOTE TYPE OF EXISTING PLANTS AND NOTIFY ARCHITECT.
- [R-4] AFTER THE CAREFUL REMOVAL OF EXISTING SOIL, REMOVE EXISTING ROOF MATERIALS KNOWN TO CONTAIN ASBESTOS PER ABATEMENT NOTES ON THIS SHEET AND SPECIFICATION SECTION 02080-ASBESTOS ABATEMENT\* AS PREPARED BY ANALYTICAL MANAGEMENT, INC.
- [R-5] REMOVE EXISTING EXPANSION JOINT COVER AS REQUIRED TO REMOVE EXISTING ROOF MEMBRANE AND FLASHINGS AND INSTALL NEW ROOF MEMBRANE. SEE DETAIL B/A-1.
- [R-6] EXISTING GOOSENECK VENT STACK TO BE PROTECTED DURING ALL DEMOLITION WORK.
- [R-7] EXISTING LIGHT POLES AND BASES TO REMAIN.
- [R-8] CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT ANY DAMAGED PRE-CAST CONCRETE CAPS PRIOR TO REMOVAL AND STORAGE FOR RE-INSTALLATION.
- [R-9] REMOVE STEEL BRACKET SUPPORT FOR THE EXISTING ELECTRICAL PANEL AND PROVIDE TEMPORARY SUPPORT TO ALLOW REMOVAL OF EXISTING PRE-CAST CONCRETE CAP.
- [R-10] EXISTING MOWER RAMP TO BE REMOVED AND STORED FOR RE-INSTALLATION.
- [R-11] EXISTING ELECTRICAL CONDUIT TO BE PROTECTED OR REMOVED AND REINSTALLED AS REQUIRED FOR DEMOLITION AND CONSTRUCTION.
- [R-12] EXISTING WATER HYDRANT TO BE PROTECTED OR REMOVED AND REINSTALLED AS REQUIRED FOR DEMOLITION AND CONSTRUCTION.

**GENERAL NOTES:**

1. G.C. SHALL PROVIDE ENCLOSURE FENCE/BARRICADE AT PROJECT LIMITS FOR SAFETY AND SECURITY AS REQUIRED THROUGH END OF CONSTRUCTION. ASBESTOS ABATEMENT CONTRACTOR SHALL PROVIDE ADDITIONAL ENCLOSURES, FENCING, AND SIGNAGE AS REQUIRED, FOR PUBLIC SAFETY UNDER THAT SCOPE OF WORK.
2. FIELD VERIFY ALL DIMENSIONS.
3. G.C. TO COORDINATE DEMOLITION WITH ABATEMENT NOTES AND SPECIFICATION SECTION 02080 PREPARED BY ANALYTICAL MANAGEMENT, INC.
4. G.C. TO MAINTAIN PEDESTRIAN ACCESS TO PEDESTRIAN STAIRWAY THROUGHOUT CONSTRUCTION, EXCEPT FOR LIMITED PERIODS DURING ROOF REPAIRS IMMEDIATELY ADJACENT TO THOSE AREAS. G.C. TO PROVIDE APPROPRIATE SIGNAGE AT BASE OF STAIRS.
5. G.C. IS RESPONSIBLE TO COORDINATE ALL DEMOLITION WITH INSTALLATION OF TEMPORARY ROOFING TO KEEP ROOF DECK WEATHER TIGHT. SPECIAL PRECAUTIONS TO BE TAKEN OVER INTERIOR SPACES BELOW.

**ABATEMENT GENERAL NOTES:**

1. CONTRACTOR TO BE RESPONSIBLE FOR ALL WORK ASSOCIATED WITH ABATEMENT OF MATERIALS CONTAINING ASBESTOS, PER LOCAL, STATE AND FEDERAL APPLICABLE GUIDELINES AND REQUIREMENTS.
2. CONTRACTOR RESPONSIBLE TO NOTIFY ALL REQUIRED AGENCIES PRIOR TO START OF REMOVAL.
3. SEAL ALL ROOF PENETRATION PRIOR TO START OF WORK TO ISOLATE WORK AREA FROM INSIDE ENVIRONMENT.
4. CONTRACTORS ARE TO PROVIDE WARNING SIGNS, BARRIER TAPE, ETC. IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.
5. ALL MATERIAL REMOVE SHALL BE KEPT WET. MATERIAL SHALL NOT BE ALLOWED TO ACCUMULATE ON WORK SURFACES.
6. DOUBLE BAG, OR DOUBLE PLASTIC WRAP ALL WASTE MATERIAL.
7. ALL WORK AREAS SHALL BE CLEANED OF DUST, DIRT, AND GROSS MATERIALS.
8. AT COMPLETION OF WORK ALL PLASTIC TAPE, SIGNS, ETC. SHALL BE REMOVED AND DISPOSED OF.

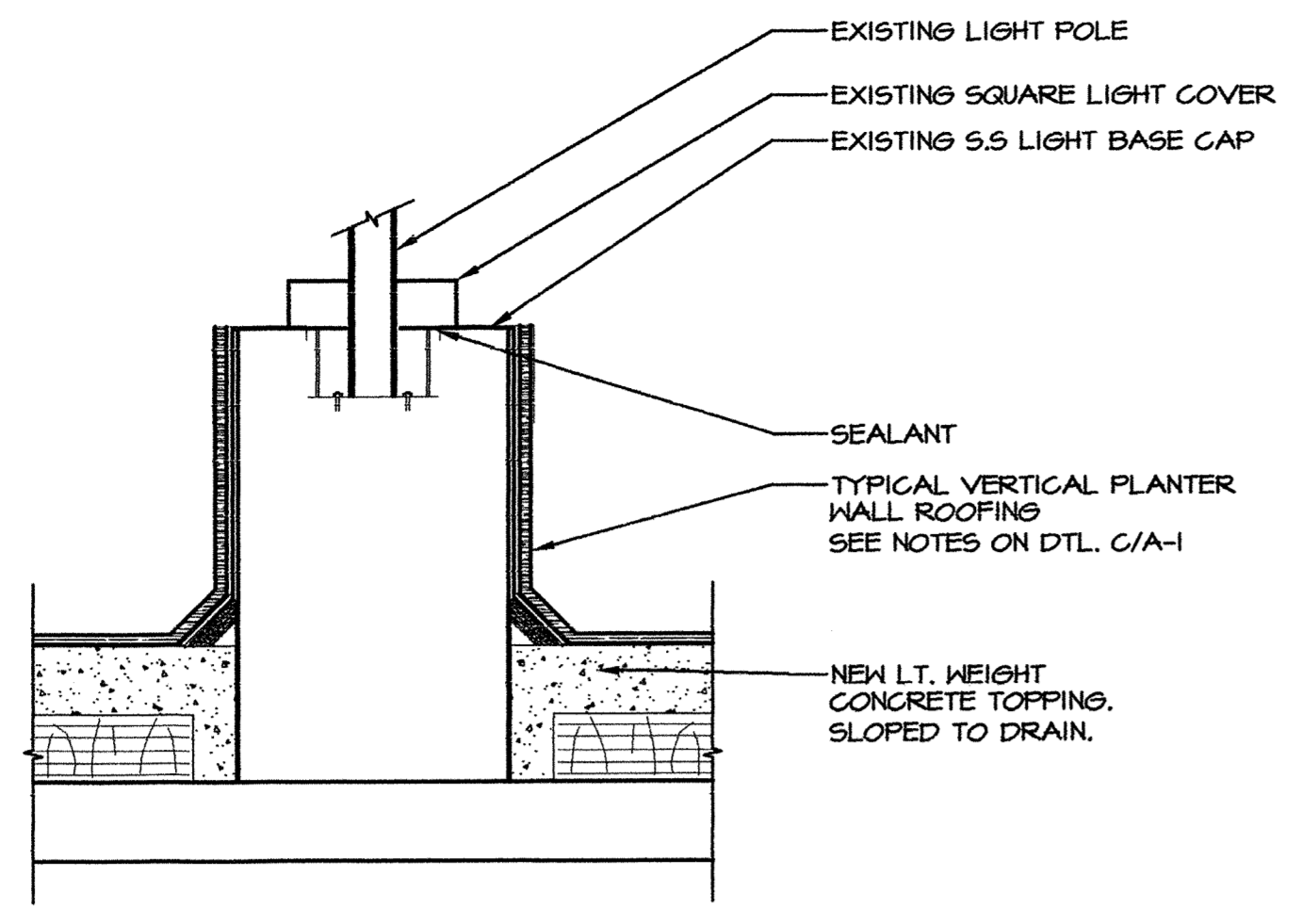
**ABATEMENT NOTES**

- ① TYPICAL ROOF CONSTRUCTION SEE DETAIL D/A-(S/M). SOIL TO BE REMOVED AS UNCONTAMINATED. BUILT UP ROOF AND FLASHINGS TO BE REMOVED, AS ASBESTOS CONTAINING MATERIAL.
- ② NOT USED
- ③ REMOVE ROOFING AND FLASHING MATERIAL IN PLANTER AREA, AS ASBESTOS CONTAINING MATERIAL.
- ④ ROOF EXPANSION JOINT AT BOUNDARY OF WORK - REMOVE ANY ROOFING MATERIAL THAT MAY ADHERE.
- ⑤ EXISTING LIGHTS TO REMAIN. CLEAN CONCRETE PEDESTAL AS REQUIRED.

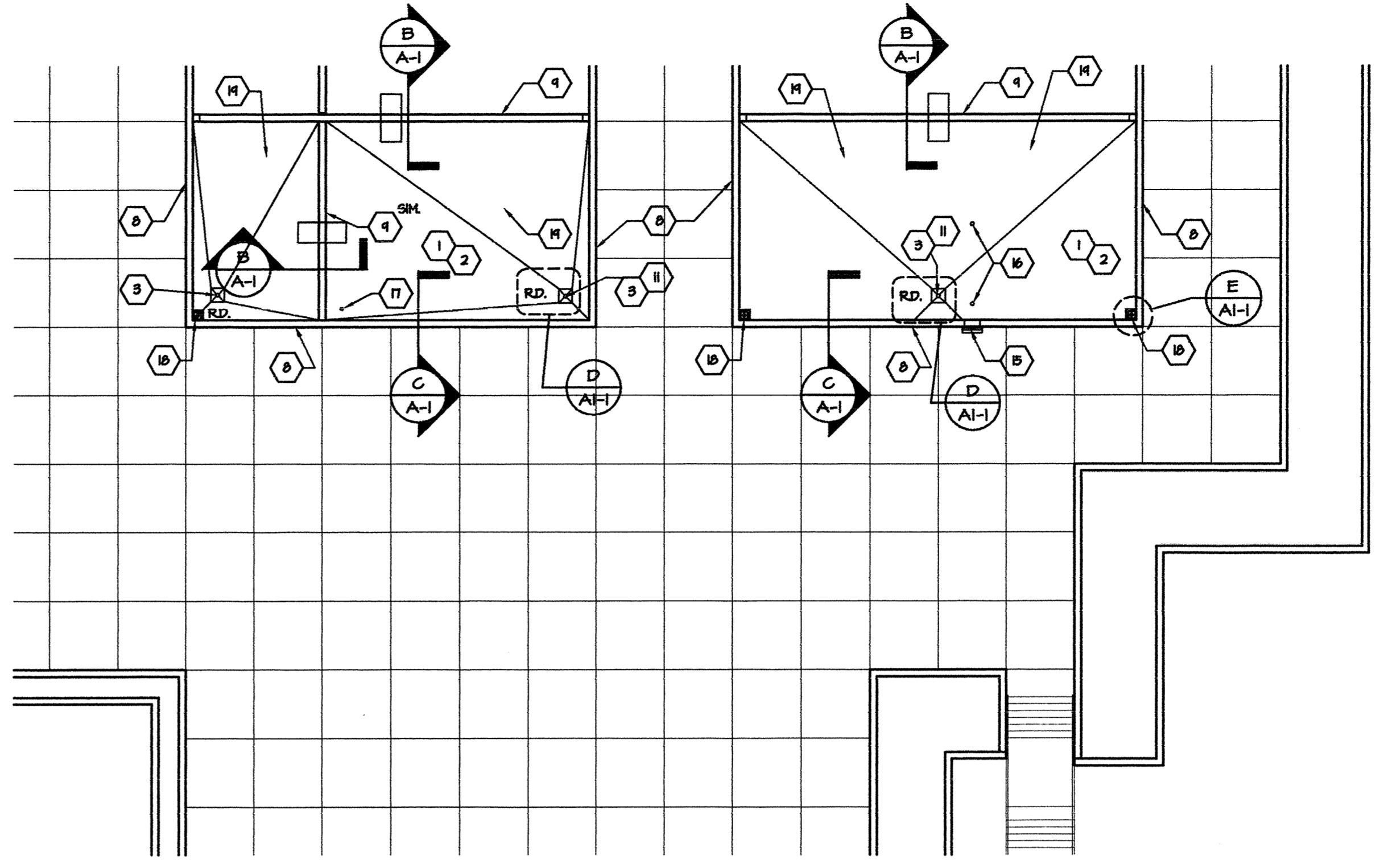
PLEASE NOTE THAT THE EXISTING ROOF MEMBRANE, FIELD AND PERIMETER FLASHINGS HAVE BEEN TESTED AND ARE KNOWN TO CONTAIN ASBESTOS. PLEASE REFER TO ABATEMENT NOTES AND THE SPECIFICATION FOR ABATEMENT PROCEDURES.

REVISIONS	DATE	CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY		
1		AS BUILT DATE	DEMOLITION ROOF PLAN	DRAWING NO.
2		DRAWN BY	COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET	<b>AD-1</b>
3		CHECKED BY	DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY	
4		A & E FILE NO.	<b>ROSS • TARRANT ARCHITECTS, INC.</b>	REVIEWED DATE: 12/18/02
5		DATE	208 West Main Street Lexington, Kentucky 40507 Phone (502)254-4018 Fax (502)231-5046	ENR. FILE NO. FPCP0060
6		NOVEMBER 2002		
7		AGENCY AUTHORIZED AGENT	APPROVED FOR PROGRAM CONCEPT ONLY	DATE 12/28/02
8		DIVISION OF ENGINEERING	APPROVED FOR PROGRAM CONCEPT ONLY	DATE 12/23/02
9		<b>PHASE 'C' - CONSTRUCTION DOCUMENT</b>		

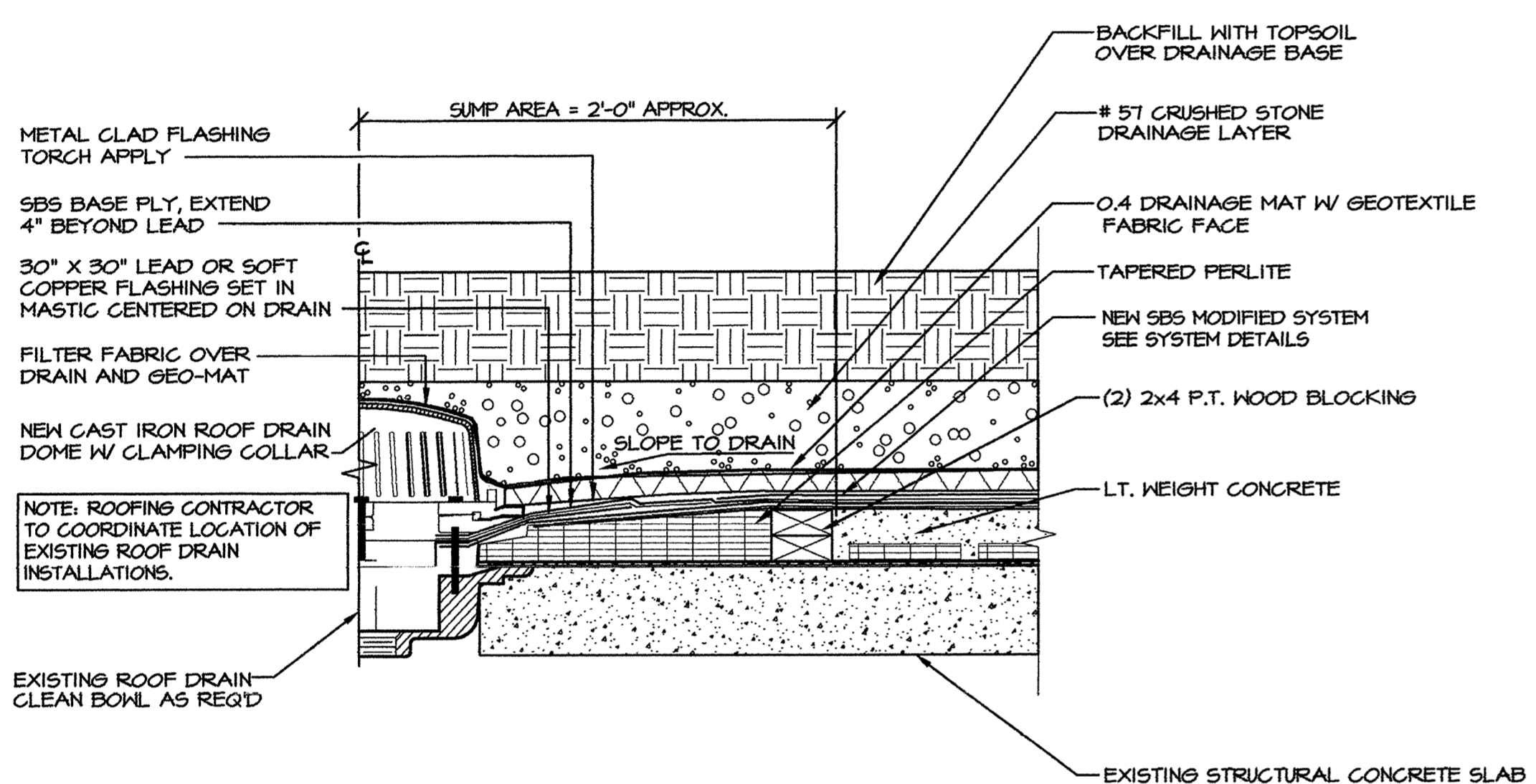
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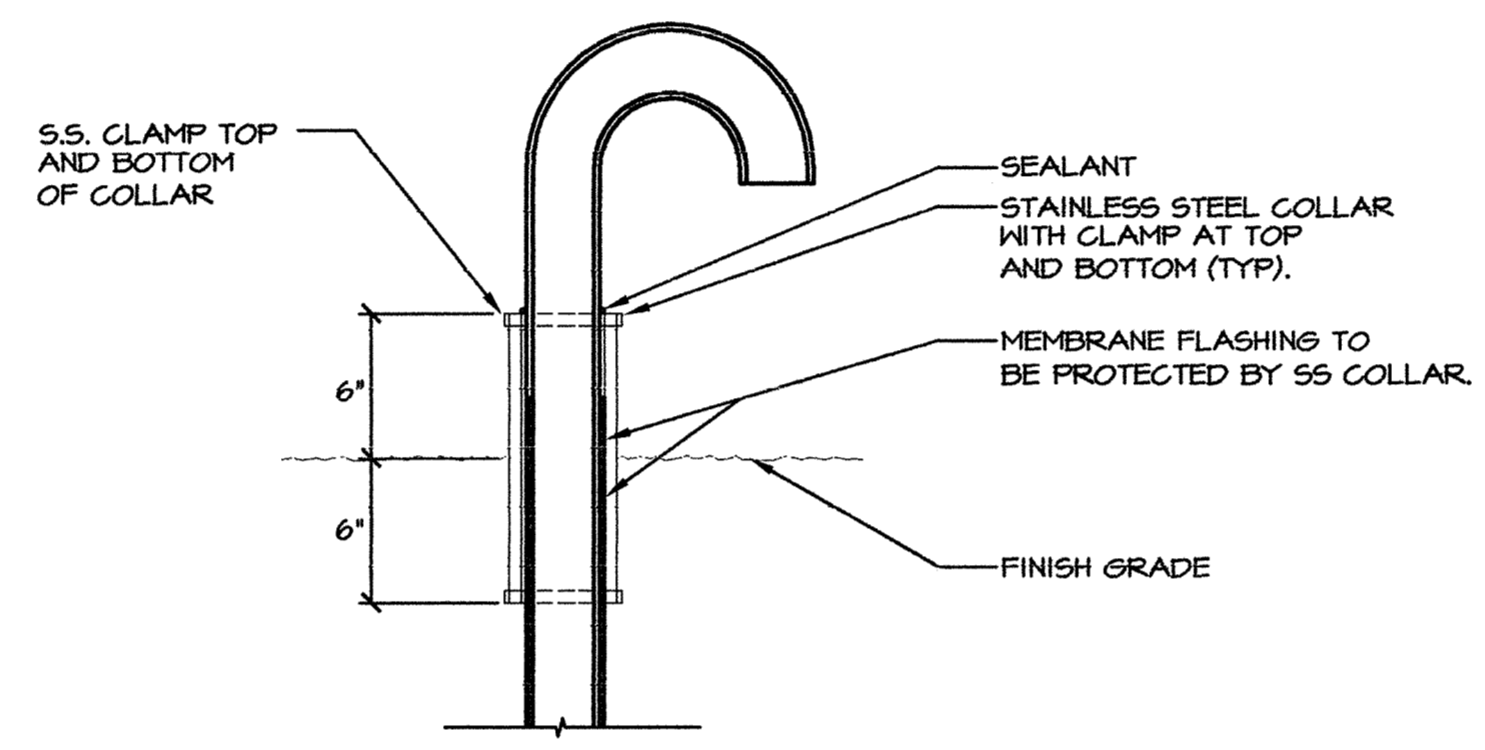
**PLANTER LIGHT POLE BASE**  
SCALE: 1 1/2" = 1'-0"



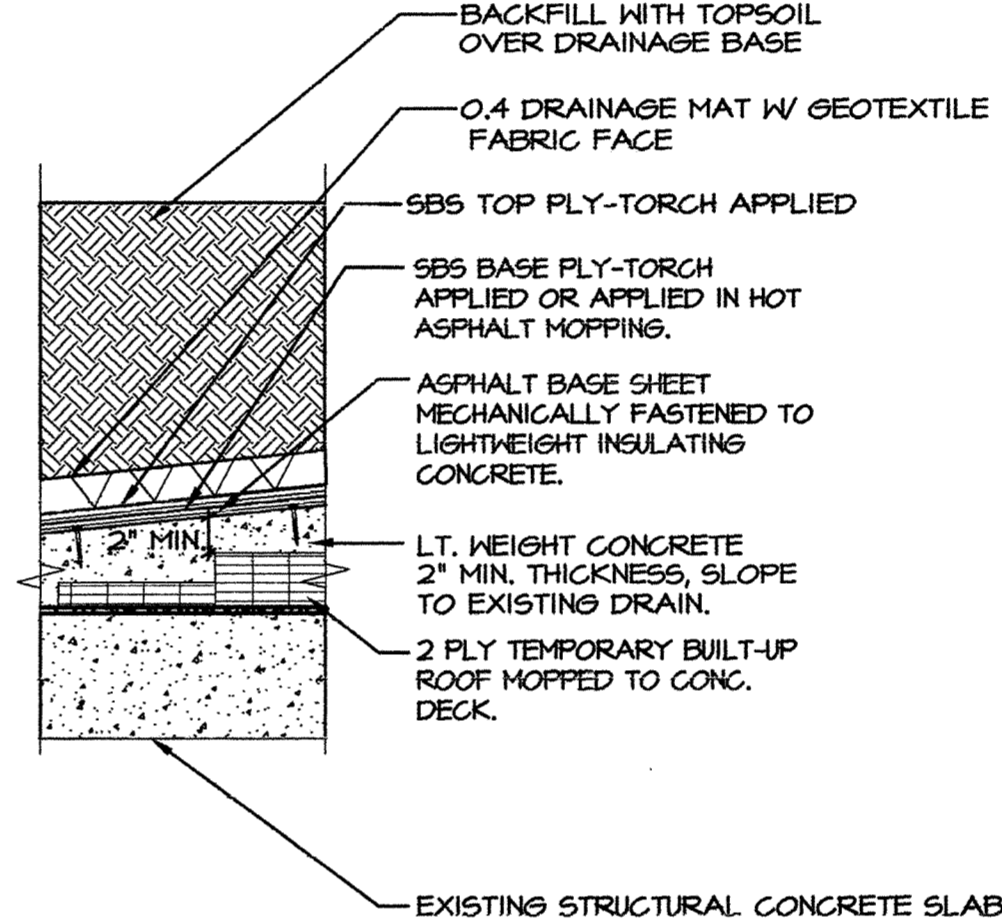
**PARTIAL ROOF PLAN**  
SCALE: 1/16" = 1'-0"



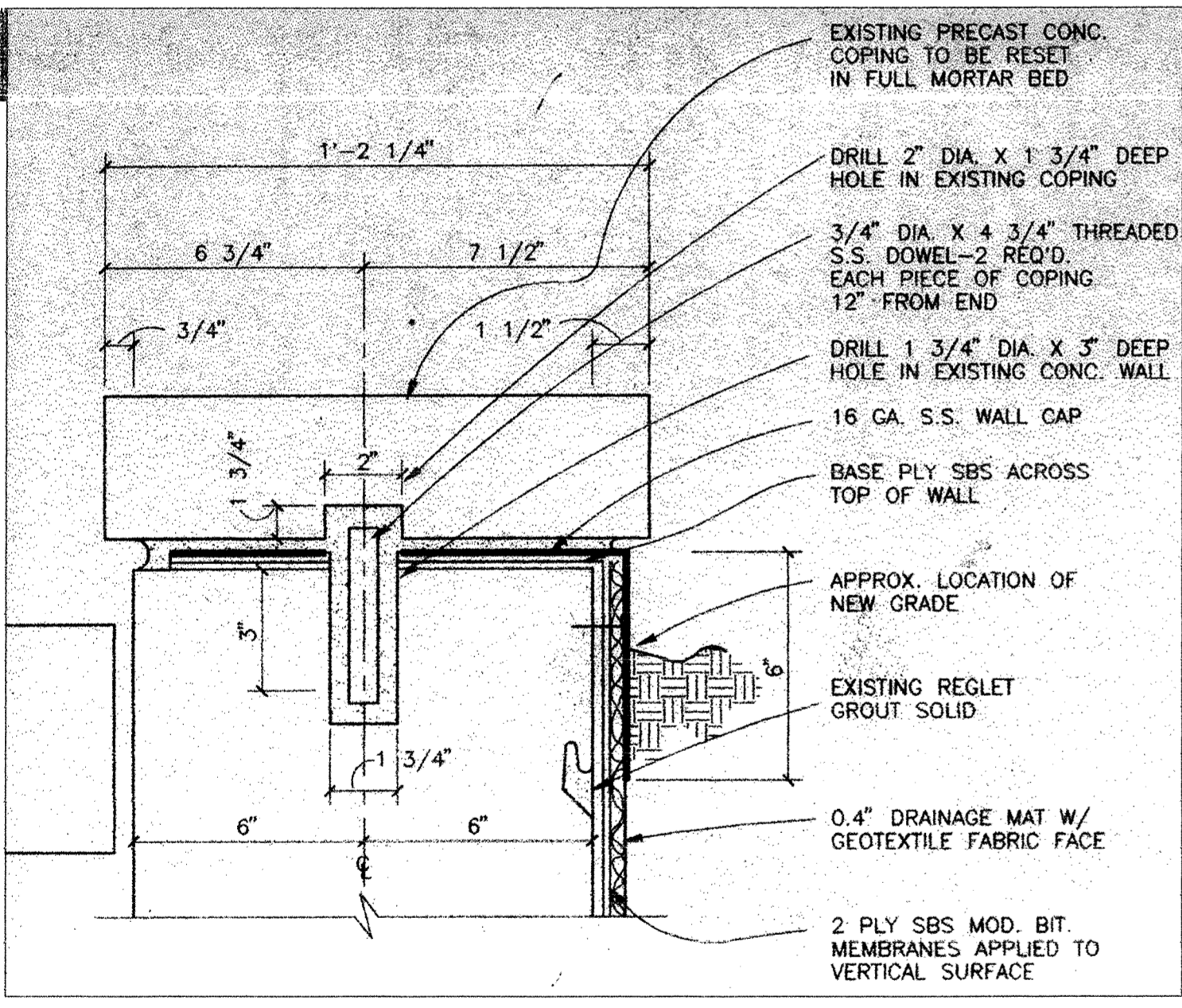
**TYPICAL ROOF DRAIN DETAIL - SBS SYSTEM**  
SCALE: 1 1/2" = 1'-0"



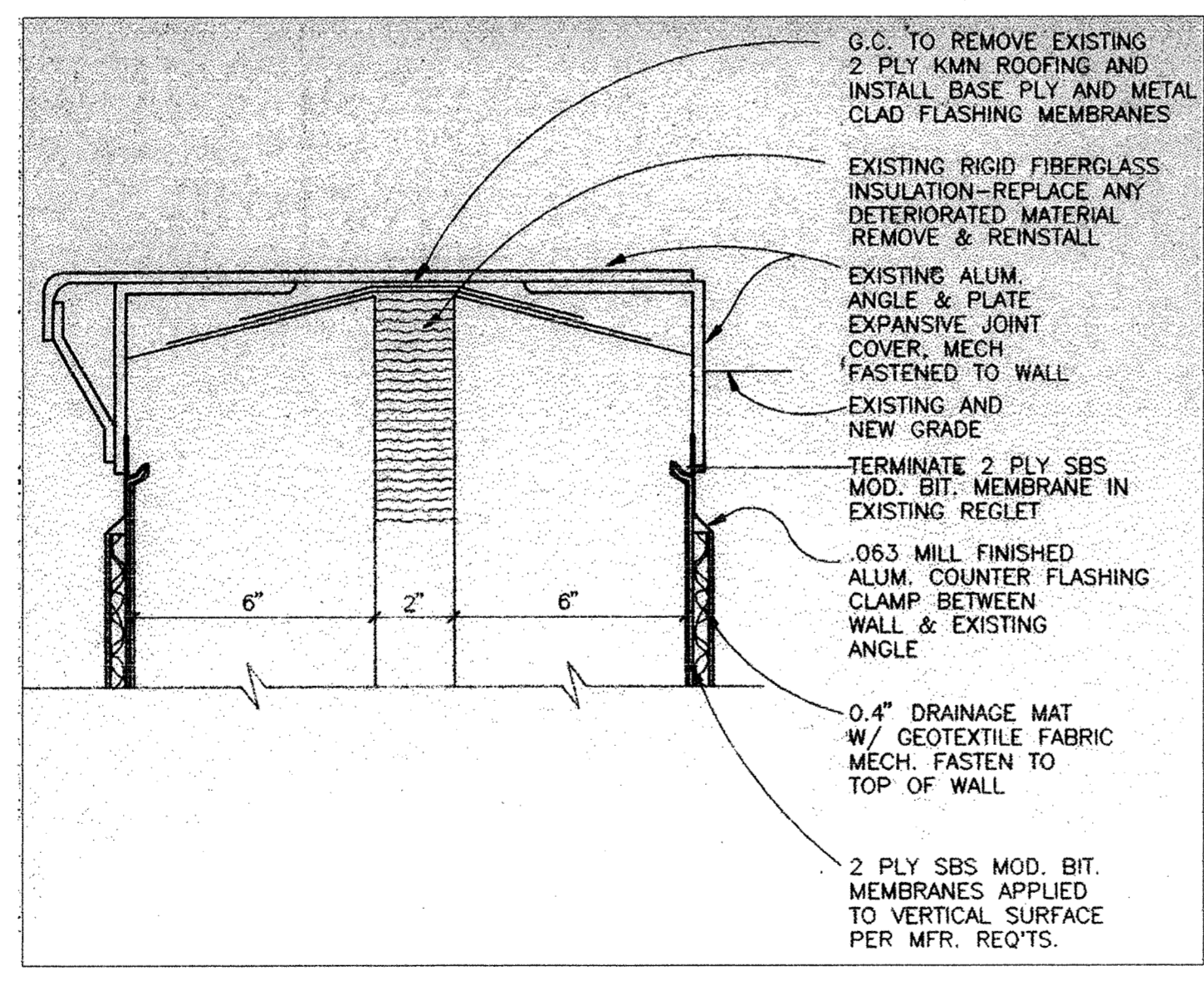
**VENT STACK FLASHING DETAIL**  
SCALE: 1 1/2" = 1'-0"



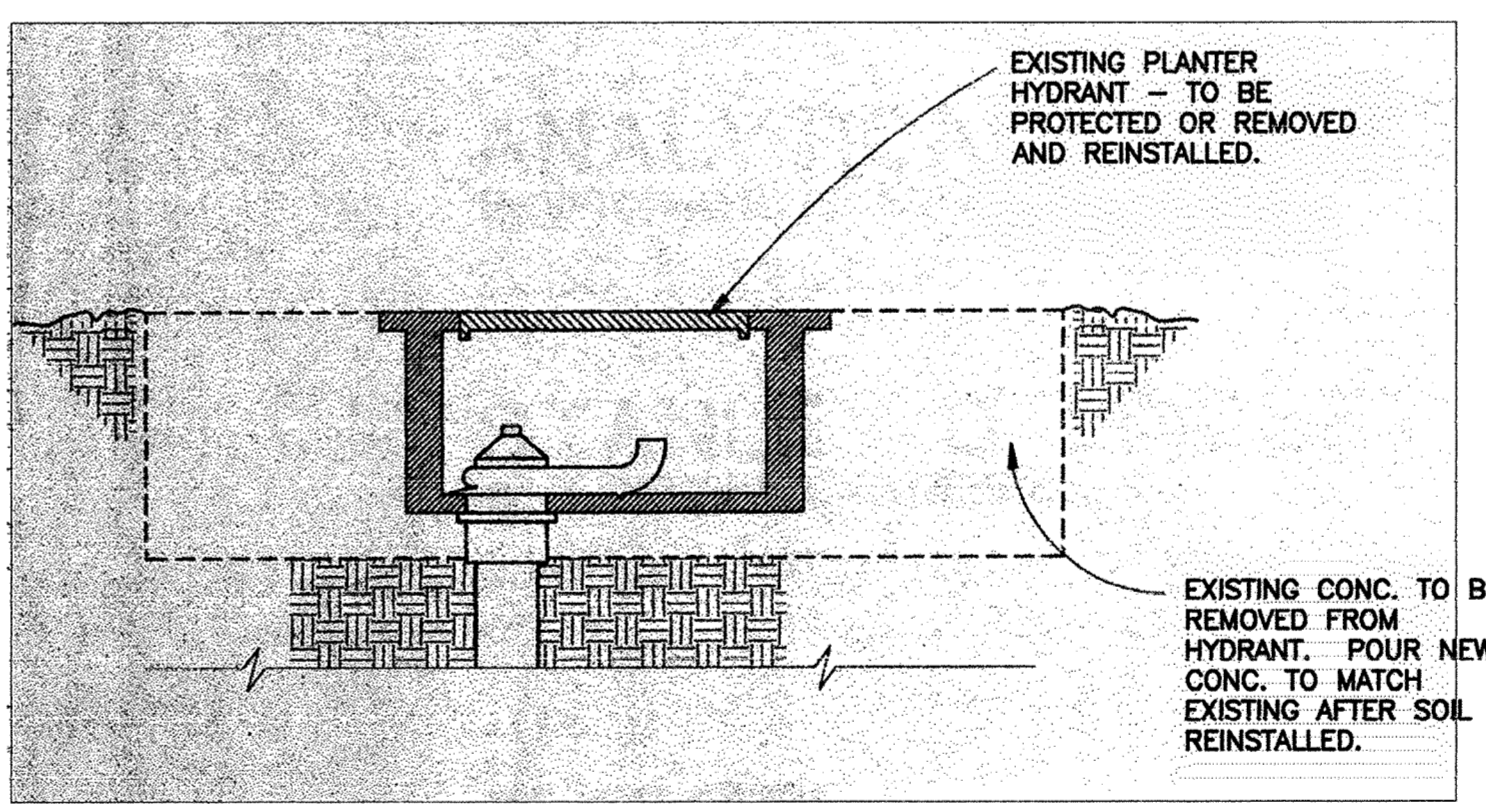
**TYPICAL ROOF SECTION**  
SCALE: 1 1/2" = 1'-0"



**PLANTER WALL DETAIL**  
SCALE: 3" = 1'-0"



**EXPANSION JOINT DETAIL**  
SCALE: 3" = 1'-0"



**HYDRANT DETAIL**  
SCALE: NOT TO SCALE

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL PROVIDE ENCLOSURE FENCE/BARRICADE AT PROJECT LIMITS FOR SAFETY AND SECURITY AS REQUIRED THROUGH END OF CONSTRUCTION. ASBESTOS ABATEMENT CONTRACTOR SHALL PROVIDE ADDITIONAL ENCLOSURES, FENCING, AND SIGNAGE AS REQUIRED FOR PUBLIC SAFETY UNDER THAT SCOPE OF WORK.
- FIELD VERIFY ALL DIMENSIONS.
- CLEAN OUT ALL LEADERS FROM ALL PLAZA AND PLANTER DRAINS. ENSURE THAT ALL DRAINS AND LEADERS FUNCTION PROPERLY.

**TAGGED NOTES**

- TYPICAL ROOF CONSTRUCTION. SEE DETAIL H/A-1.
- EXISTING SLOPE IS APPROXIMATELY 1/8" PER FOOT. CONTRACTOR TO PROVIDE NEW INSULATING CONCRETE DECK TO PROVIDE A FINAL SLOPE OF 1/4" PER FOOT TO 4x4 SUMP @ PLAZA DRAIN.
- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ROOF DRAINS AND SUBMIT FIELD VERIFICATION DRAWINGS TO ARCHITECT.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- EXISTING ROOF EXPANSION JOINT AT BOUNDARY OF WORK. SEE DETAIL B/A-1.
- NOT USED.
- FORM NEW 4x4 SUMP AT PLAZA DRAIN WITH (2) P.T. 2x4 WOOD BLOCKING. SEE DETAIL D/A-1.
- NOT USED.
- NOT USED.
- NOT USED.
- REINSTALL EXISTING ELECTRICAL PANEL AND BRACKET AS PREVIOUSLY CONSTRUCTED.
- EXISTING VERTICAL PIPE OR CONDUIT ROOF PENETRATION. INSTALL RETROFIT FLASHING PER DETAIL G/A-1.
- REMOVE OR PROTECT EXISTING PLANTER HYDRANT AND PIPING INSIDE PLANTER AREA DURING CONSTRUCTION OF ROOFING. REMOVE EXISTING CONCRETE FROM AROUND HYDRANT BEFORE REINSTALLING. POUR CONCRETE PER DETAIL A/A-1.
- NOT USED.
- PROVIDE SEEDING AND MULCH FOR ENTIRE PLANTER AREA.

REVISIONS	DATE	CAPITAL PLAZA ROOF REPAIR FRANKFORT, KENTUCKY	
1		AS BUILT DATE	PARTIAL ROOF PLAN
2		DRAWN BY	COMMONWEALTH OF KENTUCKY FINANCE AND ADMINISTRATION CABINET DEPARTMENT FOR FACILITIES MANAGEMENT DIVISION OF ENGINEERING FRANKFORT, KENTUCKY
3		CHECKED BY	J. BOELHAUF
4		A & E FILE NO.	0222
5		DATE	NOVEMBER 2002
6		AGENCY AUTHORIZED AGENT	APPROVED FOR PROGRAM CONCEPT ONLY
7		DIVISION OF ENGINEERING	APPROVED FOR PROGRAM CONCEPT ONLY
8			
9			

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DRAWING NO. **A-1**

REVIEWED: 12-18-02  
DATE: 12/23/02

DATE: 12/19/02

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